



General information

Property/project name: PROPOSED CHARTER SCHOOL Submittal date 05/16/ 2010

Street address(es) of the property: NE 166 STREET & NE 16 AVENUE

Proposed use: EDUCATIONAL

Applicant(s)/agent(s): SOCCER DEVELOPMENT GROUP - GUSTAVO BOLADO

Application request

The undersigned Applicant(s)/Agent(s)/Property Owner(s) request City of North Miami Beach consideration and review of the following application(s). Please check all that apply.

- Abandonment and Vacations
- Annexation
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use
- Conditional Use – Special Limited
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Planned Unit Development
- Plat/Replat
- Site Plan
- Variance
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: _____

Project information

Street address(es) of the property: NE 166 STREET & NE 16 AVENUE

Legal description: Lot(s) SEE ATTACHED SURVEY

Block(s) 1 TO 10 Section (s) 76

Property folio numbers (list all numbers) 07-2217-003-0440 / 07-2217-003-0010 / 07-2217-003-0011



Property owner name(s): CITY OF NORTH MIAMI BEACH

Property owner(s) mailing address(es): 17011 NE 19th AVENUE, NORTH MIAMI BEACH, FL. 33162

Telephone: Business 305-947-7581 Fax

Other Email @

Applicant(s)/agent(s): SOCCER DEVELOPMENT GROUP / GUSTAVO BOLADO

Applicant(s)/agent(s) mailing address: 346 CONSERVATION DR., WESTON, FL. 33327

Telephone: Business 954-999-6085 Fax 866-610-4414

Other Email konstrukomusa @ hotmail.com

Proposed site data and land use(s) information

Please complete and/or respond to all requested information. If "Not Applicable," please note NA.

Current Comprehensive Plan Land Use designation(s): RECREATIONAL & OPEN SPACE / PUBLIC

Current Zoning District designation(s): CF - COMMUNITY FACILITY DISTRICT

Proposed Comprehensive Plan Land Use designation(s) (if applicable):

Proposed Zoning District designations(s) (if applicable): CF - COMMUNITY FACILITY DISTRICT

Proposed non-residential land uses (list of intended uses), gross square footage, required parking and parking provided.

Table with 4 columns: Use, Square footage, Required parking, Parking provided. Row 1: EDUCATIONAL, 24,191, 31, 171.

Non-residential totals: Square footage: 24,191 Required parking: 31 Parking provided: 171

Residential unit size, number by unit type, gross square footage by type, required parking and parking provided:

Unit size: Studio: One-bedroom: Two-bedroom: Three-bedroom:

Table with 4 columns: Unit type, Square footage, Required parking, Parking provided. Rows for Studio, One-bedroom, Two-bedroom, Three-bedroom.

Residential totals: Square footage: Required parking: Parking provided:



Site data information:

Total lot area (square footage/acreage): 45,000 / 1.03 Lot width: _____ Lot depth: _____

Setbacks: Front: 30'-0" Rear: 20'-0" Side: (CORNER) 25'-0" Side (Interior): 15'-0"

Building height (feet/inches): 30'-8" Number of floors: 2

Minimum pervious area: 25% Maximum lot coverage: _____

Total required parking: 31 Parking provided: 171 Additional parking: _____

Supporting information

A Preapplication Conference is required with the Community Development Staff in advance of application submittal to determine the information necessary to be filed with the application(s). Staff will advise and check the required items at the Preapplication Conference. If necessary, attach additional sheets to application. Staff reserves the right to request additional information as necessary throughout the entire City review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations (color).
- Architectural/building elevations architectural elements (color).
- Building floor plans and roof plan.
- Comprehensive Plan analysis.
- Comprehensive Plan text amendment justification.
- Concurrency review application.
- Department of Transportation Driveway Connection Permit
- Drainage Plan.
- Elevations.
- Encroachments plan.
- Environmental assessment.
- Exterior architectural materials board.
- Landscape plan.
- Land use map (subject property outlined).
- Lighting plan.
- Liquor survey (for only review of location of lounge, bar, or package liquor store).
- Lobbyist form (City form).
- Massing model and/or 3D computer model.

- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study. **TRANSIT OPERATION PLAN AND FORM.**
- Photographs (color) of property, adjacent uses and/or streetscape.
- Plat.
- Property owners list, including a typewritten list and 2 sets of self-adhesive labels of all properties within 500 feet.
- Property survey and legal description.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan (colored).
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Text amendment justification.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Warranty Deed.
- Zoning Code text amendment justification.
- Zoning Map (with subject property outlined)
- Other: _____

Application submittal requirements – Number of copies

1. Table of Contents. Please provide a Table of Contents identifying all documents provided on all paper and electronic copies. Please clearly indicate date on all pages of plans and drawings.
2. Hard copies.
 - a. Fifteen (15) paper copies (11 inch by 17 inch format with binding) of this application and entire application shall be submitted including all the items identified in the Pre-application Conference.
 - b. One (1) paper full-size (24 inch by 36 inch format, signed and sealed, stapled and folded) plans of all drawings, illustrations, etc.
 - c. One (1) copy of exterior architectural materials board (if applicable).
 - d. Fifteen (15) sets of the application.
 - e. Fifteen (15) sets of the letter of intent for the project.
 - f. Fifteen (15) sets of the most recent survey of the property.
3. Digital media copies. One (1) compact discs (CD ROMs) of the entire application including all items identified in the Pre-application Conference. Each document shall be separated into separate PDF files (i.e., application; site plan,

landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of North Miami Beach entitlements in effect during the entire review process.
2. This application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of North Miami Beach unless identified and approved as a part of this application request and/or other previously approved applications.
3. That all the answers to the questions in this application, and all data and other supplementary matter attached to and made a part of the application are honest and true to the best of my knowledge and belief.
4. Understand this application must be complete and accurate before a hearing can be advertised. In the event that I or anyone appearing on my behalf is found to have made a material misrepresentation, either oral or written, regarding this application (I)(We) understand that any City review shall be voidable at the option of the City of North Miami Beach.
5. Understand the failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. Understand that the application, all attachments, correspondence and fees become a part of the official records of the City of North Miami Beach and are not returnable.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. All representatives of the application have registered with and completed the required lobbyist forms from the City of North Miami Beach City Clerk's Office.
9. The application before the Board or City Council shall be represented by the legal owner, the prospective owner having a bona fide purchase contract or a duly qualified attorney retained by said owner or prospective owner.
10. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: concurrency review; property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review. Understand that if payment is not received the prior to Final Public Hearing Review, the Application shall be postponed by the City until such time all fees are paid.

(See next page for signature information)



(Please complete all below sections and indicate "Not Applicable (N/A)" as appropriate).

Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Property owner(s) signature(s):	Property owner(s) print name:	
Address(es): 17011 NE 19th AVENUE NORTH MIAMI BEACH, FLORIDA 33162		
Telephone: 305-947-7581	Fax:	Email:
NOTARIZATION		
STATE OF FLORIDA/COUNTY OF		
The foregoing instrument was acknowledged before me this _____ day of _____ by _____		
(Signature of Notary Public - State of Florida)		
(Print, Type or Stamp Commissioned Name of Notary Public)		
<input type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____		

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:	
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:	
Address(es):		
Telephone:	Fax:	Email:
NOTARIZATION		
STATE OF FLORIDA/COUNTY OF		
The foregoing instrument was acknowledged before me this _____ day of _____ by _____		
(Signature of Notary Public - State of Florida)		
(Print, Type or Stamp Commissioned Name of Notary Public)		
<input type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____		



City of North Miami Beach, Florida

Community Development Department Public Hearing Application

17050 NE 19th Ave. North Miami Beach, FL 33162 Tel: 305. 948.2966 nmbcomdev@citynmb.com

Applicant(s)/Agent(s) Signature(s):	Applicant(s)/Agent(s) Print Name: GUSTAVO BOLADO - SDG
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Address(es): **346 CONSERVATION DRIVE
WESTON, FLORIDA 33327**

Telephone: 954-999-6085	Fax: 866-610-4414	Email: construkomusa@hotmail.com
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NOTARIZATION

STATE OF FLORIDA/COUNTY OF _____
 The foregoing instrument was acknowledged before me this _____ day of _____ by _____
 (Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____

Office Use Only

Preapplication conference was completed on _____, 2014
Month Day

Application submittal date _____, 2014
Month Day

Fee(s) received Yes No Amount: \$ _____

Fee(s) received for : _____

Check No. _____ City Account No: 010-341201

Upon completion - Scan and insert application into Department "Project" computer file directory. Revision date 01.02.2014

H:\Form, form letters and applications\01 02 2014 NMB community development department public hearing application.docx

May 2, 2016

HAND DELIVEREDCity of North Miami Beach
c/o Ms. Ana Garcia
City Manager**Re: Soccer Development Group**

Dear Ms. Garcia:

The undersigned is legal counsel to Soccer Development Group, LLC (“**SDG**”). As you know, SDG is currently operating the Boca Juniors Soccer Academy at Patricia Mishcon Park in the City of North Miami Beach (“NMB”). Said operation, which was considered pursuant to an unsolicited proposal submitted to the City in August, 2014, and approved by the NMB City Council by Resolution. Since said approval, which was memorialized in that March, 2015 Management Agreement, SDG has invested over \$2,200,000 in soccer-related athletic infrastructure and has begun operations in partnership with Boca Juniors Soccer Club and the City of NMB. SDG anticipates the capital improvements will surpass the \$3.2M mark.

SDG has recently partnered with Sports Leadership and Management Foundation, Inc. (“**SLAM**”), which recently submitted an unsolicited proposal for Phase 1 of a three-phase development for the prospective development and operation of a charter school in the City of North Miami Beach. The SLAM proposal, dated April 11, 2016, is attached herewith and made a part hereof. Phase 1 of the SLAM proposal calls for a first year, grade 6 operation at the DeLeonardis Youth Center at Allen Park. The second phase of the SLAM Charter School, which would open the school doors for the 2017-2018 school year, will be housed in the Boca Juniors clubhouse building. Because this represents an expansion of space and use, an unsolicited proposal is required pursuant to the statutory procedures set forth in Section 287.05712, Florida Statutes.

Based on the foregoing, we respectfully request that you accept this as our letter of request for the City to consider and approve an unsolicited proposal from Soccer Development Group for an expansion of the previously approved SDG clubhouse. If approved, this expansion will be memorialized by a concession agreement, which will expressly call for a term of 12 years plus two (2) consecutive 5 year renewal periods. The terms for payment to the City, to be made by the new entity and guaranteed by SDG, shall remain at 5.5% of gross revenues for the school operation.

Approval of this project will also require modification of the previously approved Management Agreement as well as the previously approved Site Plan for the Boca Juniors Soccer Academy. Said modification will include an expansion of the uses permitted to include an educational facility, an expansion of the building area to allow for an additional 11,500 square feet, including 16 classrooms and other school-related work areas and an extension of the term of the current agreement. Construction would commence in August, 2016 and completion date is anticipated to be February, 2017. Another modification will incorporate SLAM and allow SDG to enter into a sub-agreement with a separate entity for the SDG / SLAM partnership. Notwithstanding the foregoing, SDG will be ultimately responsible for compliance with the terms of the Concession Agreement as well as the modified Management Agreement.

The anticipated cost of said construction, to be paid by the entity to be formed for this project and guaranteed by SDG, is estimated to be \$1,800,000. Attached you will find color renderings of the clubhouse building with the aforementioned classroom additions.

Section 287.05712(6)(e) requires the City of NMB to make 3 findings for the expansion of the use to allow an educational facility, namely:

- a) There is a public need for or benefit derived;
- b) The estimated cost of the project is reasonable in relation to similar facilities; and
- c) There will be timely acquisition, design, construction, improvement, renovation, expansion, equipping, maintenance or operation of the project.

Regarding the first finding required, this proposal is perfectly aligned with the City's strategic plan, which calls enhanced educational options and alternatives. Regarding the second finding required, the cost of the expansion is being funded by SDG. Regarding the third and final finding required, construction and opening is anticipated to be effectuated by August, 2017.

Conclusion

SDG is excited to once again partner with the City of NMB as well as with SLAM, which has acquired an approved charter contract from M-DCPS to open a proposed North campus (SLAM North) in 2016 (August 22, 2016). Approval of this proposal will pave the way for a smooth transition of the 3-phases anticipated for the SLAM / NMB Charter School. We respectfully request that notice of this unsolicited proposal be advertised in accordance with Chapter 287 of the Florida Statutes. In the event no other proposals are received, we asked that this matter be placed on the next available agenda of the NMB City Council.

Any and all contacts and communications regarding this proposal shall be made with:

Soccer Development Group
c/o Daniel Rotsztain
16425 Collins Avenue, Suite 2112
Sunny Isles, FL 33160
305-527-1292
danielr@bocasoccerschools.com

May 2, 2016
Page 3

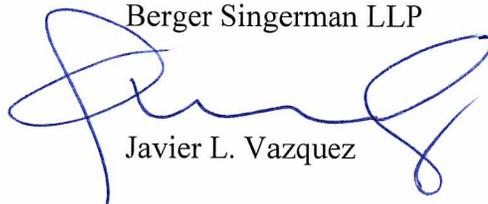
With copies to:

Javier L. Vazquez, Esq.
Berger Singerman LLLP
1450 Brickell Avenue, 19th Floor
Miami, Florida 33131
305-714-4378
Jvazquez@bergersingerman.com

We once again thank you for your consideration and please do not hesitate to contact me if you have any questions.

Sincerely,

Berger Singerman LLP



Javier L. Vazquez

JLV/md

**SOCCER DEVELOPMENT GROUP
CHARTER SCHOOL AT SDG FACILITIES
CITY OF NORTH MIAMI BEACH**



Google earth
Data SIO, NOAA, U.S. Navy, NGA, GEBCO
Map data © 2016 Google

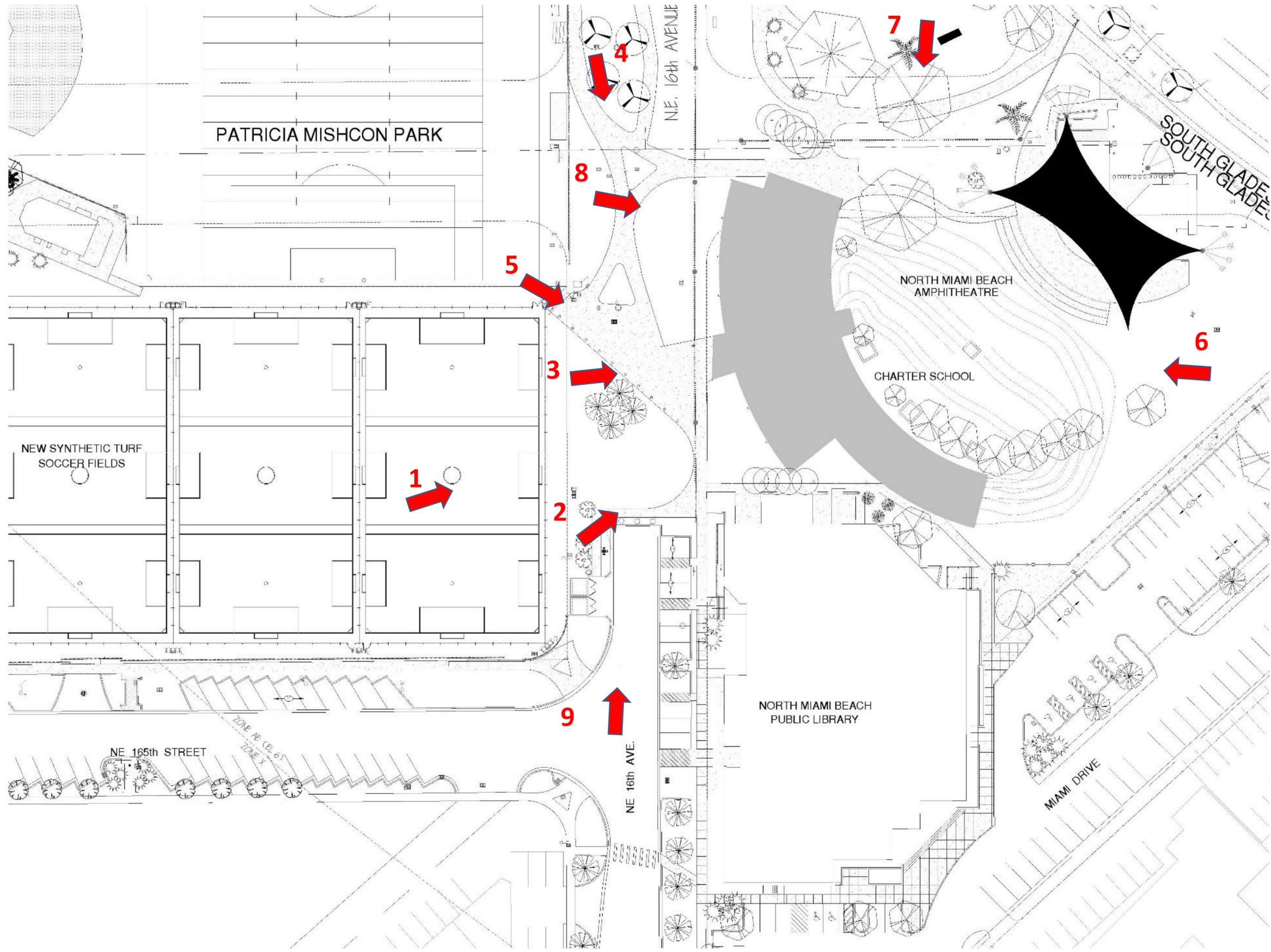


Soccer Development Group

ConstrukomUSA

Plana International

RENDERINGS LOCATIONS



Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #1



Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #2



Soccer Development Group

ConstrukomUSA

Plana International

CAMERA #3



Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #4



Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #5



Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #6



Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #7



Soccer Development Group

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Soccer Development Group

ConstruKomUSA

Plana International

CAMERA #9



Soccer Development Group

ConstruKomUSA

Plana International

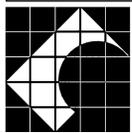
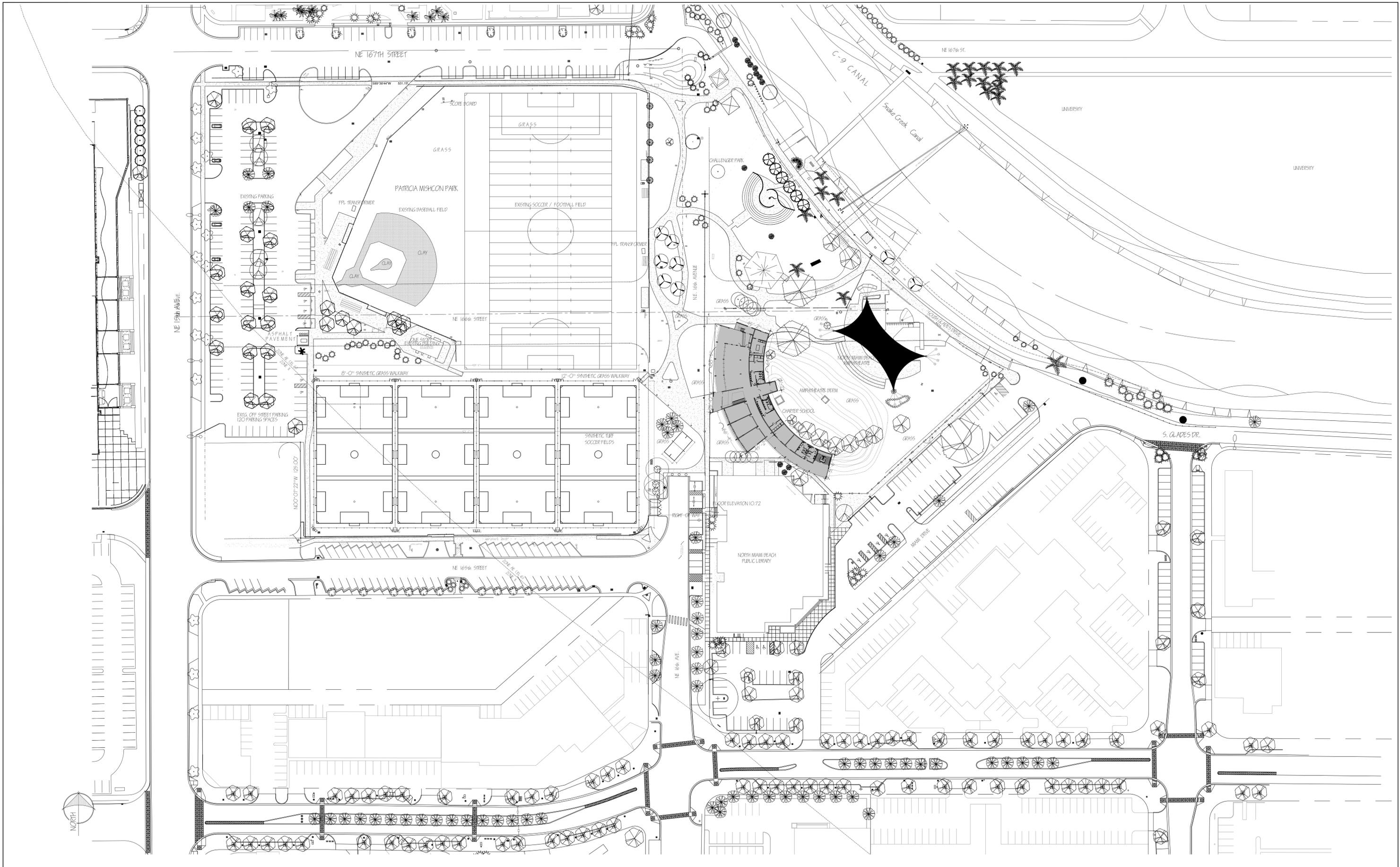
**SOCCER DEVELOPMENT GROUP
CHARTER SCHOOL AT SDG FACILITIES
CITY OF NORTH MIAMI BEACH**



Soccer Development Group

ConstruKomUSA

Plana International



CHARTER SCHOOL
SITE PLAN

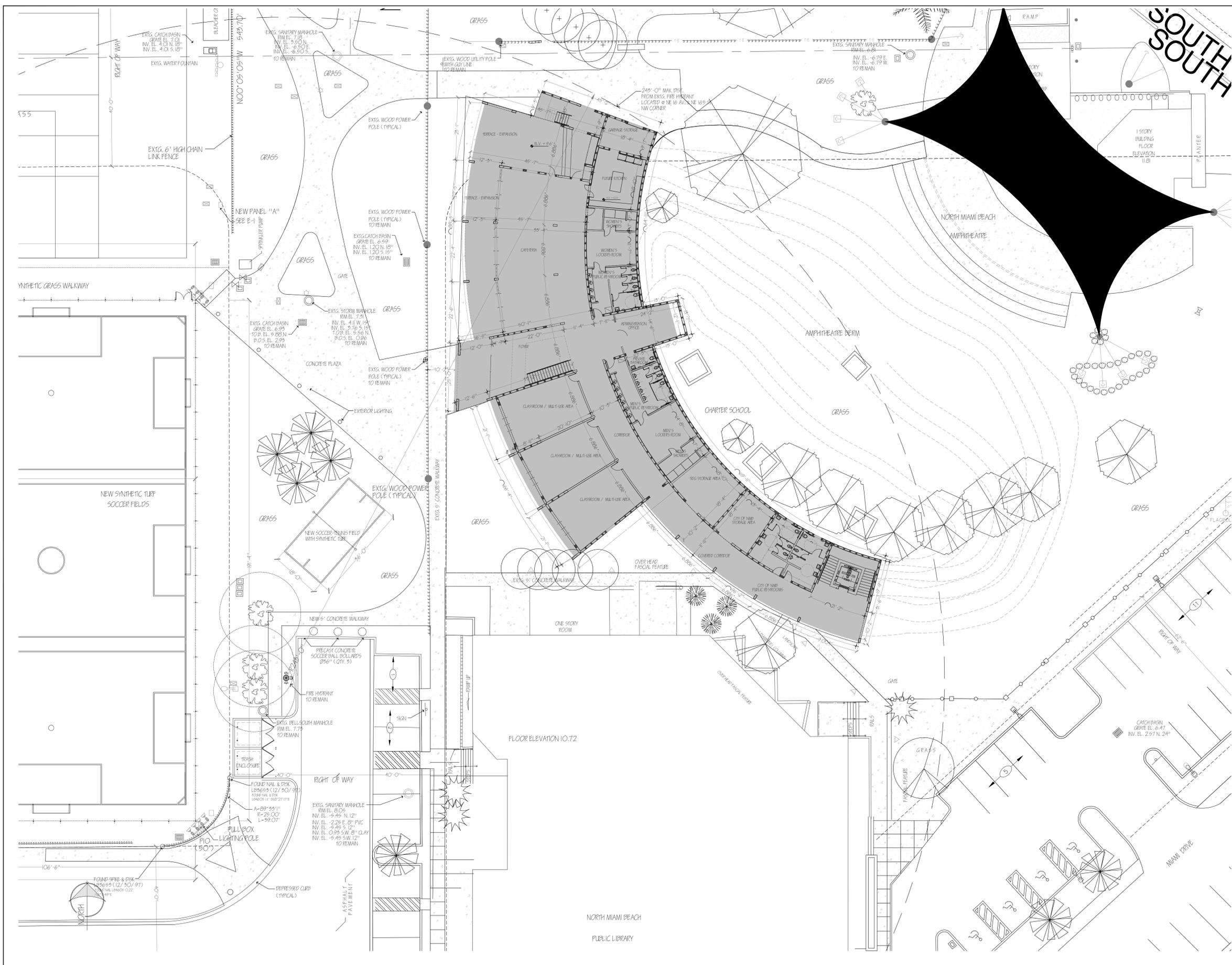
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CHECKED: J.P.
DATE: 05/10/2016
SCALE: 1/16"=1'-0"
JOB NO.: C224

PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
NE 16th AVENUE & NE 169th STREET - NORTH MIAMI BEACH, FLORIDA

PLANA INTERNATIONAL
1055 SW 126 STREET
BOCA RATON, FLORIDA 33486
PHONE: (561) 441-9544 FAX: (561) 441-4622
E MAIL: ar@plana.com

CONSTRUKOMISA
546 CONSERVATION DRIVE
MIRABEL, FLORIDA 33427
PHONE: (850) 999-6009 FAX: (850) 610-4484
E MAIL: construkomisa@netnet.com

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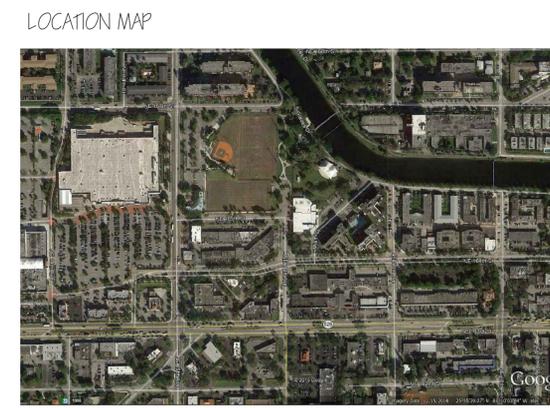
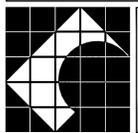


ZONING INFORMATION

PROPERTY OWNER: CITY OF NORTH MIAMI BEACH
 FOLIOS # 07-2217-003-0010 / # 07-2217-003-0011 / # 07-2217-003-0040
 ZONING DISTRICT: CF - COMMUNITY FACILITY

PROPOSED USE: GROUP E - EDUCATIONAL - 455 STUDENTS (6-8 PUBLIC CHARTER SCHOOL)
 OVERALL PARK AREA: 545,684 SQ. FT. / 7.99 ACRES
 PROPOSED INTERVENTION AREA: 99,987 SQ. FT. / 2.29 ACRES
 NE 166 STREET & NE 166th AVENUE - NORTH MIAMI BEACH

	REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT	35'-0"	30'-0"
MAXIMUM ALLOWABLE STORES	3 STORES	2 STORES
SETBACKS		
FRONT	50'-0"	
REAR	20'-0"	
SIDE (INTERIOR)	15'-0"	
SIDE (CORNER)	25'-0"	
MINIMUM LOT AREA	1.0055 ACRE	7.99 ACRES
PERVIOUS AREA	25%	75%
PARKING	120 EXISTING OFF-STREET PARKING SPACES @ MISHCON PARK (6 EXISTING ADA PARKING SPACES)	
TOTAL AVAILABLE PARKING	91 EXISTING PUBLIC STREET PARKING SPACES (NE 167 ST. & NE 166 ST.)	171 PARKING SPACES
BUILDING AREAS:		
UNDER FLOOR		
UNDER AIR CONDITIONING		7,856 SQ. FT.
SOG STORAGE		412 SQ. FT.
CITY OF NORTH MIAMI BEACH'S STORAGE		500 SQ. FT.
CITY OF NORTH MIAMI BEACH'S PUBLIC BATHROOMS		907 SQ. FT.
COVERED TERRACE AREA (NORTHWEST AREA)		2,101 SQ. FT.
COVERED EXTERIOR CORRIDOR (SOUTHWEST AREA)		1,468 SQ. FT.
GROUND FLOOR TOTAL AREA		9,145 SQ. FT.
SECOND FLOOR		
UNDER AIR CONDITIONING		10,247 SQ. FT.
COVERED CORRIDOR (SOUTHWEST AREA)		1,141 SQ. FT.
NORTH BALCONY		89 SQ. FT.
SECOND FLOOR TOTAL AREA		11,477 SQ. FT.
TOTAL SQUARE FOOTAGE UNDER AIR CONDITIONING		18,172 SQ. FT.
TOTAL COVERED AREA		24,159 SQ. FT.

CHARTER SCHOOL
ENLARGED SITE PLAN

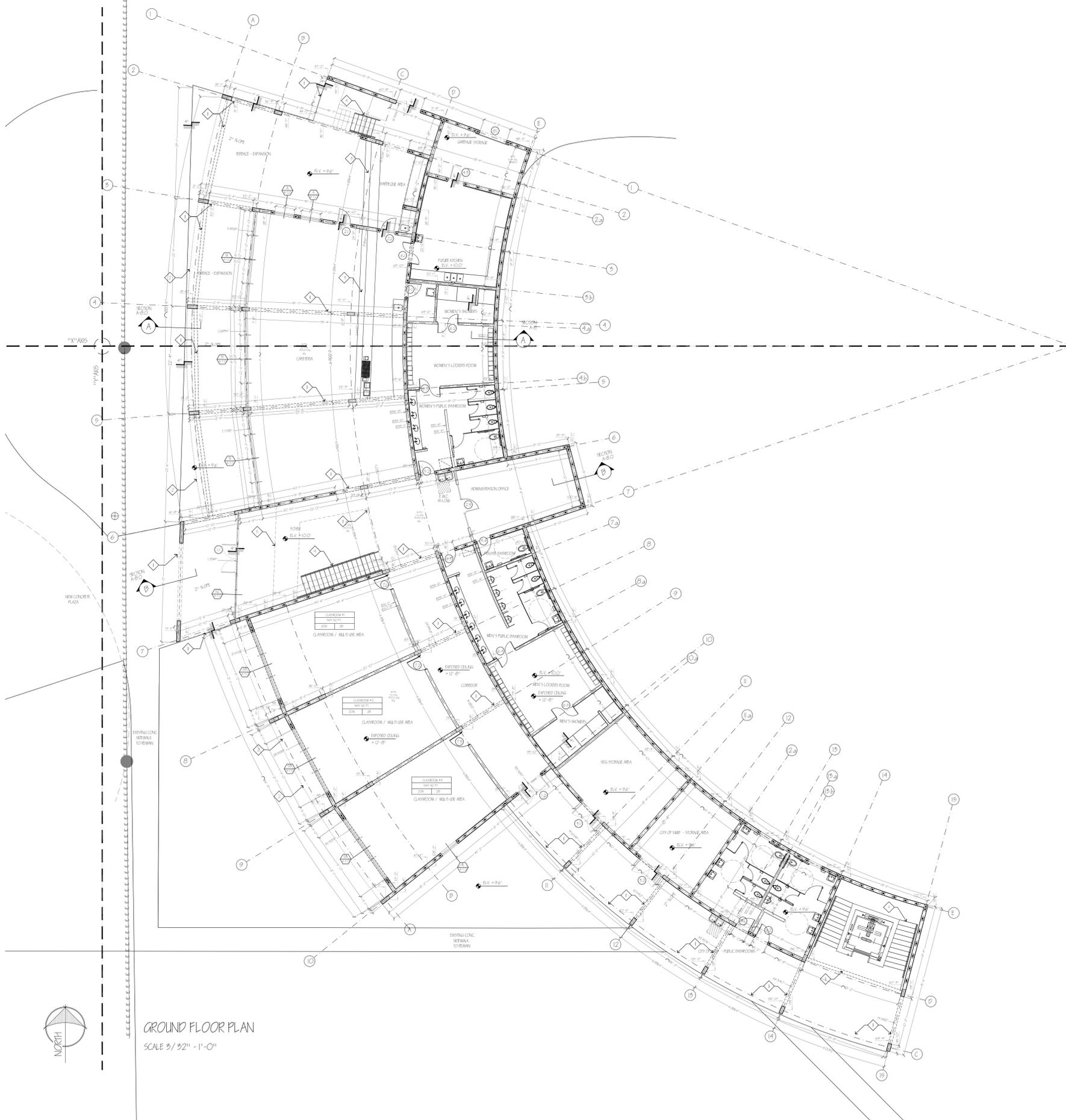
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 JOB NO.: C224

PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
 PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
 NE 166th AVENUE & NE 166th STREET - NORTH MIAMI BEACH, FLORIDA

PLANA INTERNATIONAL
 1055 SW 126th STREET
 BOCA RATON, FLORIDA 33486
 PHONE: (561) 441-9544 FAX: (561) 441-4622
 E-MAIL: ar@plana.com

CONSTRUKOMISA
 546 CONSERVATION DRIVE
 MIAMI, FLORIDA 33127
 PHONE: (305) 999-6009 FAX: (305) 610-4444
 E-MAIL: construkomisa@att.net

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GROUND FLOOR PLAN
SCALE 3/32" = 1'-0"

FBC TABLE 1004 / NFPA 101 - TABLE A.7.6.1

TYPE OF OCCUPANCY	EDUCATIONAL (GROUP E)
BUILDING TYPE	TYPE II, SPRINKLERED
TRAVEL DISTANCE LIMIT	200'-0" MAX. ALLOWED
COMMON PATH LIMIT	75'-0" MAX. ALLOWED
DEAD END LIMIT	20'-0" MAX. ALLOWED

FLAME SPREAD CLASSIFICATION TABLE - FBC-2010 EDITION & NFPA 101

INTERIOR FINISHES IN COMPLIANCE W/ NFPA 14.5.3.2:

EXIT SHALL BE	TYPE "A"
EXIT ACCESS SHALL BE	TYPE "A" OR TYPE "B"
ALL OTHER SPACES SHALL BE	TYPE "B"

LOW-HEIGHT PARTITIONS NOT EXCEEDING 5'-0" USED IN LOCATIONS OTHER THAN EXITS SHALL BE PERMITTED TO BE CLASS-A, CLASS-B OR CLASS-C.

PUBLIC CHARTER SCHOOL PARKING REQUIREMENTS: (6-8 GRADE FACILITY / 441 STUDENTS) - FBC SECT 453.10.2.8

ONE (1) PARKING SPACE PER EACH STAFF MEMBER	16 TEACHERS + 10 ADMIN = 26 TOTAL STAFF	26 PKG SPACES	SCHOOL STAFF	26 SPACES
ONE (1) PARKING SPACE PER EACH 100 STUDENTS	441 STUDENTS / 100 VISITOR PARKING	5 PKG SPACES	VISITOR / TRAFFIC ACCUMULATION	5 PKG SPACES
TOTAL PARKING REQUIRED FOR 6 TO 8 GRADE PUBLIC CHARTER SCHOOL	26 (STAFF) + 5 (VISITOR)	31 PKG SPACES REQUIRED	TOTAL PARKING PROVIDED	31 SPACES

BUILDING CLASSIFICATION & CONSTRUCTION TYPE DATA - FBC-2014 & FFPC-NFPA 101

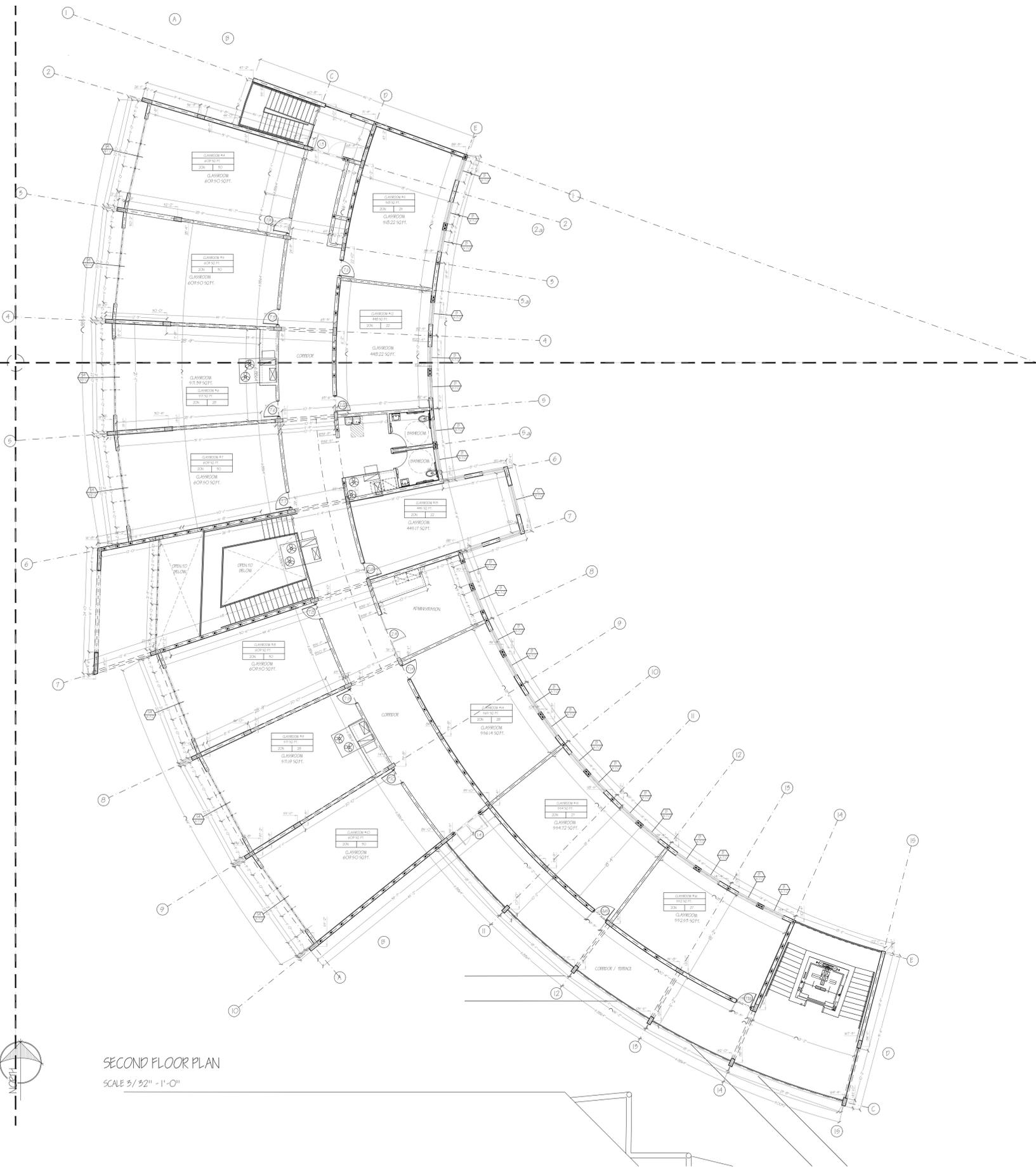
OCCUPANCY GROUP: AS PER FBC 2014 (SEC-505.1) AS PER FFPC 2012 (SEC-6.1.3.1)	GROUP "E" - EDUCATIONAL (6-8th GRADES ACADEMY) * FBC SEC-425 SHALL NOT BE APPLICABLE AS PER FL STATE ESTATUTE
CONSTRUCTION TYPE: AS PER FBC 2014 (SEC-601) (602.2) AS PER FFPC 2012 (SEC-8.2.1.2)	TYPE II-B
FIRE SUPPRESSION SYSTEM:	BUILDING SHALL BE PROTECTED BY FULL TIME FIRE SUPPRESSION SPRINKLER SYSTEM
SCHOOL BUILDING TYPE II-B (CONSTRUCTION TYPE) (NON COMBUSTIBLE) EXTERIOR 8" CMU WALL SYSTEM W/ STEEL REINF. (NON COMBUSTIBLE) INTERIOR CONCRETE / CONC. COLUMNS & BEAMS, NON-STRUCTURAL MET. FRAME PARTS (NON COMBUSTIBLE) 4-5 / 8" THK STRUCTURAL COMPOSITE CONCRETE SLAB FLOOR (NON COMBUSTIBLE) CORRUGATED MET. DECKING ON STL JOISTS & ON CONC. BEAMS *(ALL DUCTS, PIPING & ELECT. IN COMPLIANCE WITH FBC / FFPC / NEC)	
RATING REQUIRED AND PROVIDED FOR TYPE II-B CONSTRUCTION AS PER FBC 2014-TABLE 601	
STRUCTURAL FRAME RATING	0 HRS.
BEARING EXTERIOR AND INTERIOR WALLS	0 HRS.
NON-BEARING WALLS AND PARTITIONS	0 HRS.
FLOOR CONSTRUCTION (INCL. BEAM & JOISTS)	0 HRS.
ROOF CONSTRUCTION (INCL. BEAM & JOISTS)	0 HRS.

PLUMBING FACILITIES REQUIREMENTS - FBC TABLE 403.1

	REQ. (2)	W/C		LAVATORIES		SHOWERS		D.F. (4)		JAN. SINK	
		REQ. (3)	PROV.	REQ. (3)	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
		W/C	URINALS (1)	TOTAL							
STUDENTS	441										
MALE	220	5	7	5	12	5	12	0	5		
FEMALE	220	5	9	N/A	9	5	10	0	5		
STAFF	16										
MALE	8	32	1	N/A	1	2	1	0	0		
FEMALE	8	32	1	N/A	1	2	1	0	0		
TOTAL	497	10/64	15	5	25	10/4	24	0	8	4.5	6

NOTES:
(1) URINALS MAY SUBSTITUTE UP TO 50% OF THE REQ'D W/C (FBC P. 419.2)
(2) EDUCATIONAL: 1/50 OCCUPANTS - BUSINESS: 1/25 OCCUPANTS FOR THE 1ST TO 50
(3) EDUCATIONAL: 1/50 OCCUPANTS - BUSINESS: 1/40 OCCUPANTS FOR THE 1ST TO 50
(4) EDUCATIONAL & BUSINESS: 1/100 OCCUPANTS
(5) STUDENTS COUNT: 16 CLASSROOMS = 495 STUDENTS
(6) STAFF COUNT: TEACHERS 24 - OFFICE: 11

	<p>CHARTER SCHOOL LAYOUT GROUND FLOOR PLAN</p>	<p>DRAWN: G.B.</p> <p>CHECKED: J.P.</p> <p>DATE: 05/10/2016</p> <p>SCALE: 3/32" = 1'-0"</p> <p>JOB NO.: C24</p>	<p>PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK</p> <p>NE 16th AVENUE & NE 16th STREET - NORTH MIAMI BEACH, FLORIDA</p>			<p>PLANA INTERNATIONAL</p> <p>1055 SW 126th STREET BOCA RATON, FLORIDA 33436 PHONE: (561) 447-9944 • FAX (561) 447-4162 E MAIL: ar@planaintl.com</p>	<p>CONSTRUKOMUSA</p> <p>546 CONSERVATION DRIVE WESTON, FLORIDA 33327 PHONE: (954) 999-6005 • FAX (866) 610-4414 E MAIL: construkomusa@total.com</p>	<p>A-3.0</p>



SECOND FLOOR PLAN
SCALE 3/32" = 1'-0"

FBC TABLE 1004 / NFPA 101- TABLE A.7.6.1

TYPE OF OCCUPANCY	EDUCATIONAL (GROUP E)
BUILDING TYPE	TYPE II, SPRINKLERED
TRAVEL DISTANCE LIMIT	200'-0" MAX. ALLOWED
COMMON PATH LIMIT	75'-0" MAX. ALLOWED
DEAD END LIMIT	20'-0" MAX. ALLOWED

FLAME SPREAD CLASSIFICATION TABLE - FBC-2010 EDITION & NFPA 101

INTERIOR FINISHES IN COMPLIANCE W/ NFPA 14.5.3.2:

EXIT SHALL BE	TYPE "A"
EXIT ACCESS SHALL BE	TYPE "A" OR TYPE "B"
ALL OTHER SPACES SHALL BE	TYPE "B"

LOW-HEIGHT PARTITIONS NOT EXCEEDING 5'-0" USED IN LOCATIONS OTHER THAN EXITS SHALL BE PERMITTED TO BE CLASS-A, CLASS-B OR CLASS-C.

PUBLIC CHARTER SCHOOL PARKING REQUIREMENTS: (6-8 GRADE FACILITY / 441 STUDENTS) - FBC SECT 453.10.2.8

ONE (1) PARKING SPACE PER EACH STAFF MEMBER	16 TEACHERS + 10 ADMIN = 26 TOTAL STAFF	26 PKG SPACES	SCHOOL STAFF	26 SPACES
ONE (1) PARKING SPACE PER EACH 100 STUDENTS	441 STUDENTS / 100 VISITOR PARKING	5 PKG SPACES	VISITOR / TRAFFIC ACCUMULATION	5 PKG SPACES
TOTAL PARKING REQUIRED FOR 6 TO 8 GRADE PUBLIC CHARTER SCHOOL	26 (STAFF) + 5 (VISITOR)	31 PKG SPACES REQUIRED	TOTAL PARKING PROVIDED	31 SPACES

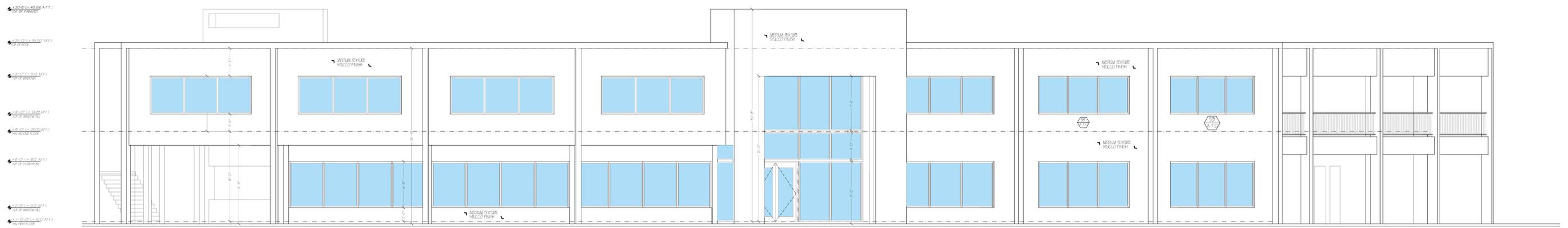
BUILDING CLASSIFICATION & CONSTRUCTION TYPE DATA - FBC-2014 & FFPC-NFPA 101

OCCUPANCY GROUP: AS PER FBC 2014 (SEC-505.1) AS PER FFPC 2012 (SEC-6.1.3.1)	GROUP "E" - EDUCATIONAL (6-8th GRADES ACADEMY) * FBC SEC-425 SHALL NOT BE APPLICABLE AS PER FL STATE ESTATUTE
CONSTRUCTION TYPE: AS PER FBC 2014 (SEC-601) (602.2) AS PER FFPC 2012 (SEC-8.2.1.2)	TYPE II-B
FIRE SUPPRESSION SYSTEM:	BUILDING SHALL BE PROTECTED BY FULL TIME FIRE SUPPRESSION SPRINKLER SYSTEM
SCHOOL BUILDING TYPE II-B (CONSTRUCTION TYPE) (NON COMBUSTIBLE) EXTERIOR 8" CMU WALL SYSTEM W/ STEEL REINF. (NON COMBUSTIBLE) INTERIOR CONCRETE / CONC. COLUMNS & BEAMS, NON-STRUCTURAL MET. FRAME PARTS (NON COMBUSTIBLE) 4-5 / 8" THK STRUCTURAL COMPOSITE CONCRETE SLAB FLOOR (NON COMBUSTIBLE) CORRUGATED MET. DECKING ON STL. JOISTS & ON CONC. BEAMS *(ALL DUCTS, PIPING & ELECT. IN COMPLIANCE WITH FBC / FFPC / NEC)	
RATING REQUIRED AND PROVIDED FOR TYPE II-B CONSTRUCTION AS PER FBC 2014-TABLE 601	
STRUCTURAL FRAME RATING	0 HRS.
BEARING EXTERIOR AND INTERIOR WALLS	0 HRS.
NON-BEARING WALLS AND PARTITIONS	0 HRS.
FLOOR CONSTRUCTION (INCL. BEAM & JOISTS)	0 HRS.
ROOF CONSTRUCTION (INCL. BEAM & JOISTS)	0 HRS.

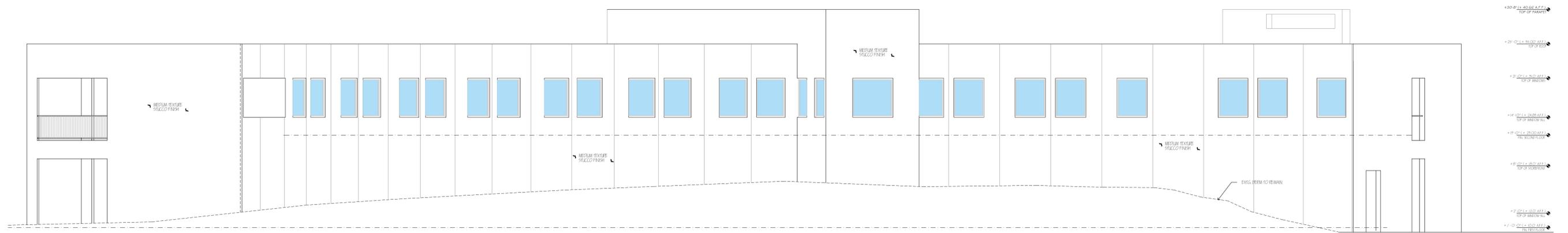
PLUMBING FACILITIES REQUIREMENTS - FBC TABLE 403.1

	REQ. (2)	W/C		LAVATORIES		SHOWERS		D.F. (4)		JAN. SINK	
		W/C	URINALS (1)	REQ. (3)	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
STUDENTS	441										
MALE	220	5	7	5	12	5	12	0	5		
FEMALE	220	5	9	N/A	9	5	10	0	5		
STAFF	16										
MALE	8	32	1	N/A	1	2	1	0	0		
FEMALE	8	32	1	N/A	1	2	1	0	0		
TOTAL	497	10.64	15	5	25	10.4	24	0	8	4.5	6

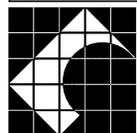
NOTES:
(1) URINALS MAY SUBSTITUTE UP TO 50% OF THE REQ'D W/C (FBC P. 419.2)
(2) EDUCATIONAL: 1/50 OCCUPANTS - BUSINESS: 1/25 OCCUPANTS FOR THE 1ST TO 50
(3) EDUCATIONAL: 1/50 OCCUPANTS - BUSINESS: 1/40 OCCUPANTS FOR THE 1ST TO 50
(4) EDUCATIONAL & BUSINESS: 1/100 OCCUPANTS
(5) STUDENTS COUNT: 16 CLASSROOMS = 495 STUDENTS
(6) STAFF COUNT: TEACHERS 24 - OFFICE: 11



WEST ELEVATION



EAST ELEVATION



CHARTER SCHOOL LAYOUT
ELEVATIONS

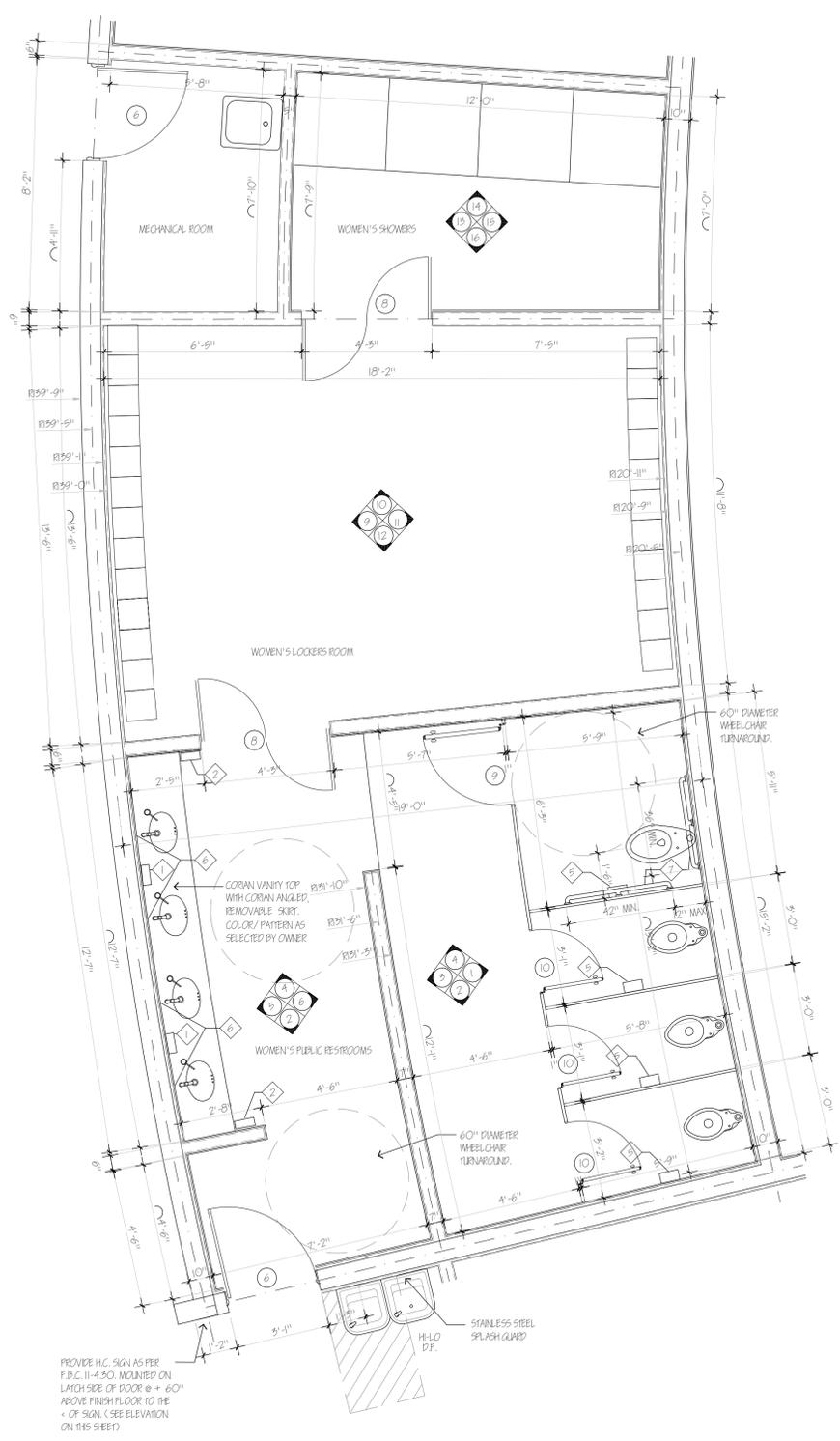
DRAWN: G.B.
CHECKED: J.P.
DATE: 05/10/2016
SCALE: 5/32"=1'-0"
JOB NO.: C224

PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
NE 16th AVENUE & NE 165th STREET - NORTH MIAMI BEACH, FLORIDA

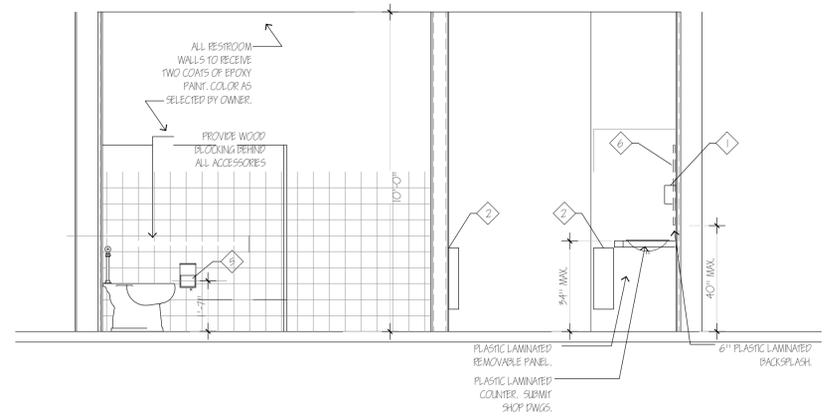
PLANA INTERNATIONAL
1055 SW 126th STREET
BOCA RATON, FLORIDA 33436
PHONE: (561) 447-9544 • FAX (561) 447-4162
E MAIL: ardiplan@aol.com

CONSTRUKOMUSA
546 CONSERVATION DRIVE
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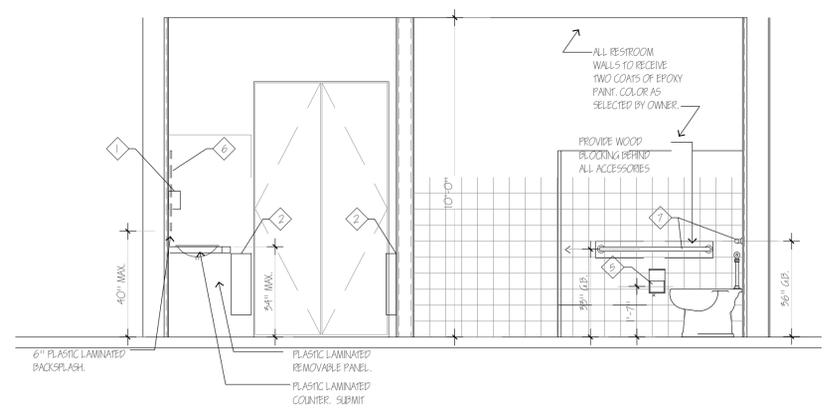
A-5.0



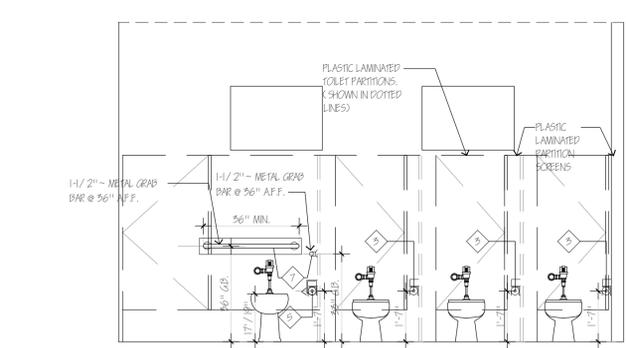
WOMEN'S RESTROOMS PLAN 3/8" = 1'-0"



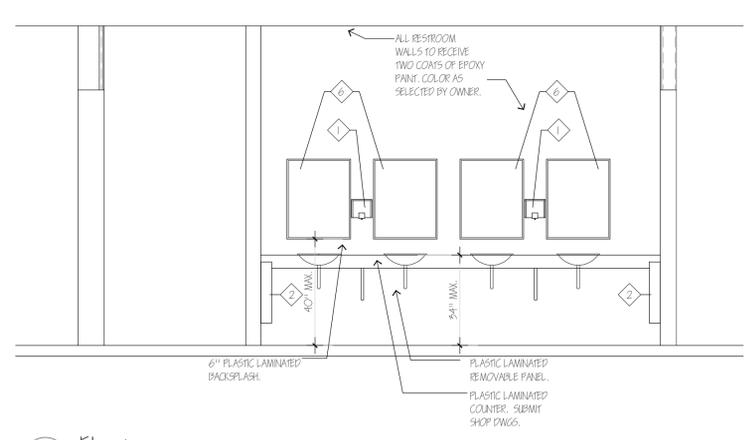
4 Elevation 3/8" WOMAN PUBLIC RESTROOMS



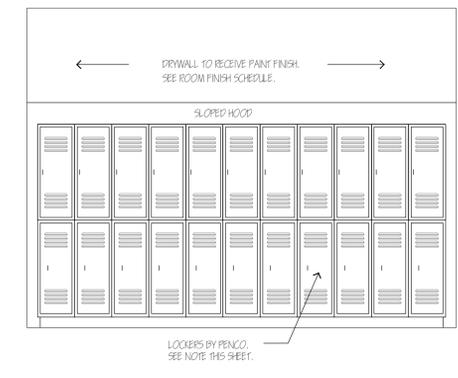
4 Elevation 3/8" WOMAN PUBLIC RESTROOMS



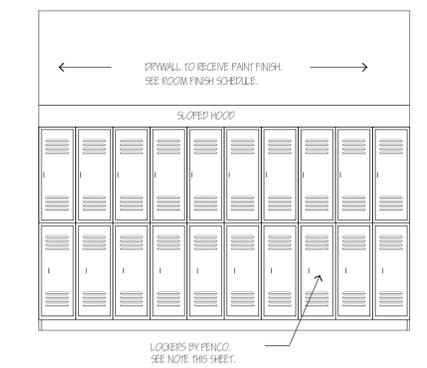
1 Elevation 3/8" WOMAN PUBLIC RESTROOMS



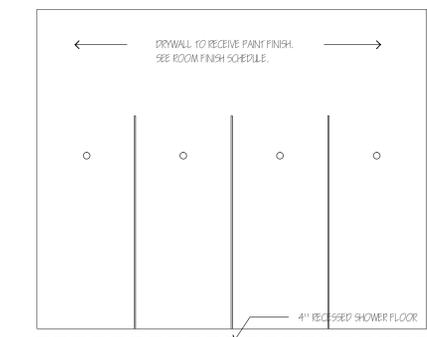
5 Elevation 3/8" WOMAN PUBLIC RESTROOMS



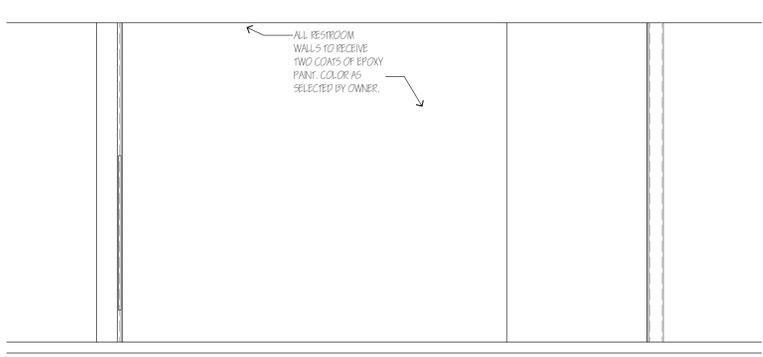
9 Elevation 3/8" WOMAN PUBLIC RESTROOMS



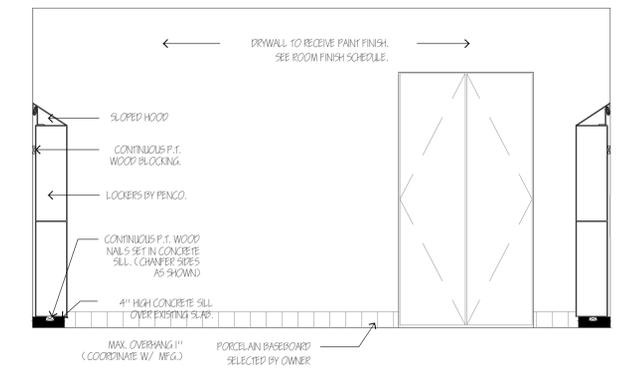
11 Elevation 3/8" WOMAN PUBLIC RESTROOMS



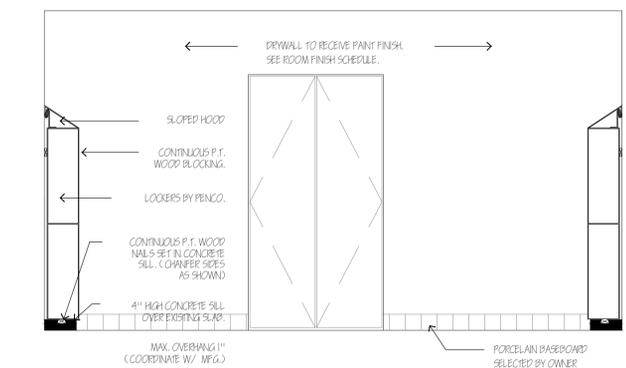
14 Elevation 3/8" WOMAN PUBLIC RESTROOMS



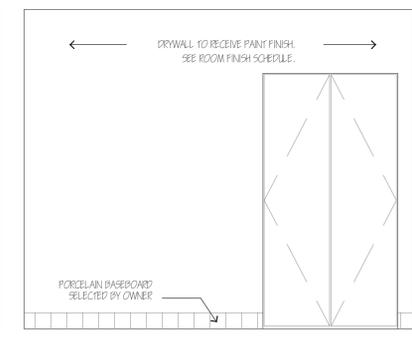
3 Elevation 3/8"



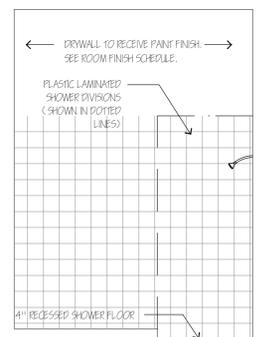
12 Elevation 3/8" WOMAN PUBLIC RESTROOMS



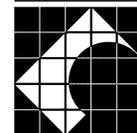
10 Elevation 3/8" WOMAN PUBLIC RESTROOMS



16 Elevation 3/8" WOMAN PUBLIC RESTROOMS



13 Elevation 3/8" WOMAN PUBLIC RESTROOMS



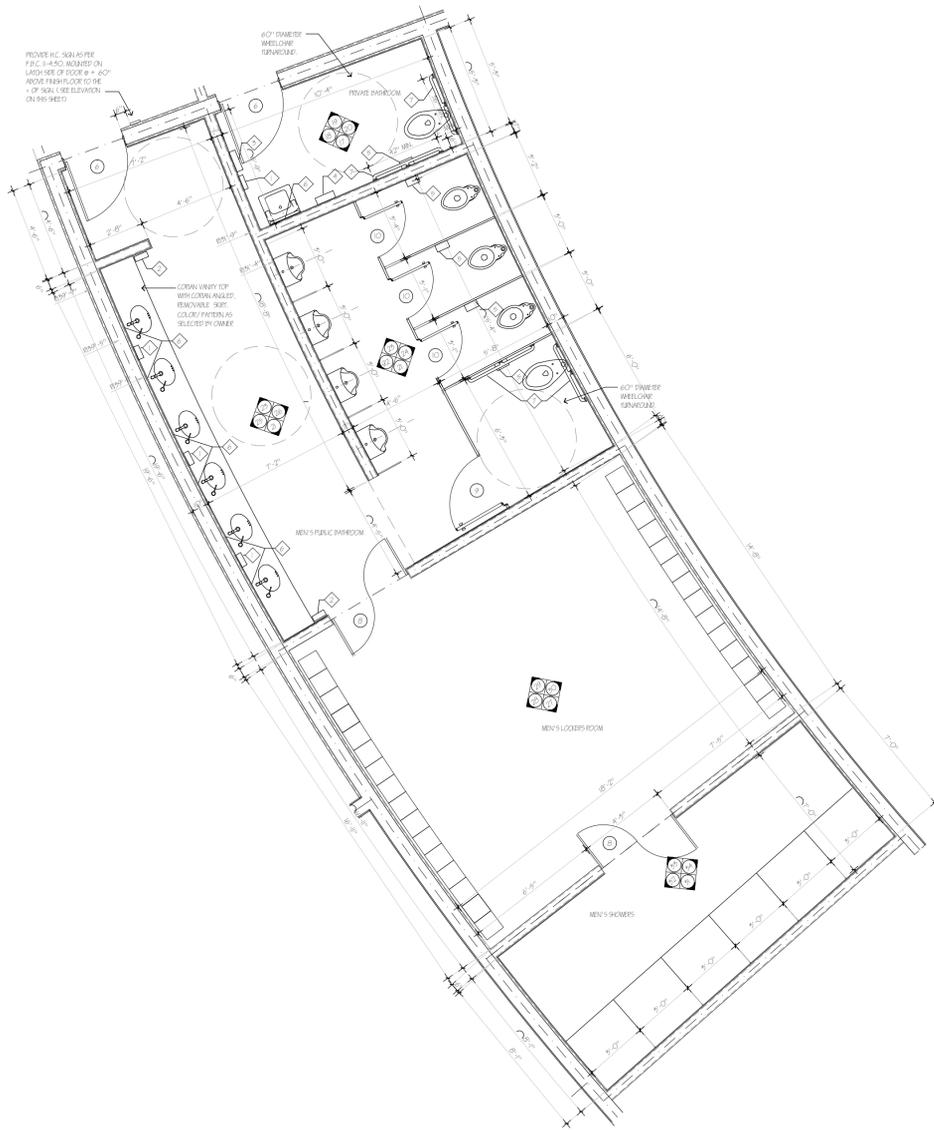
CHARTER SCHOOL
WOMEN'S RESTROOMS PLAN

DRAWN: G.B.
CHECKED: J.P.
DATE: 08/10/2016
SCALE: 3/8" = 1'-0"
JOB NO.: C224

PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
NE 16th AVENUE & NE 165th STREET - NORTH MIAMI BEACH, FLORIDA

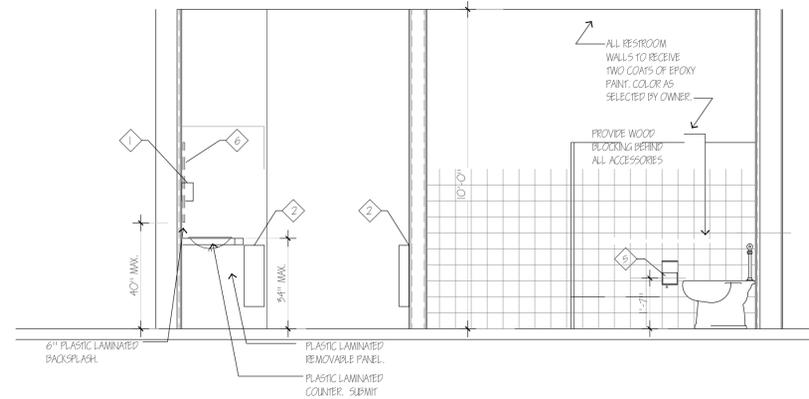
PLANA INTERNATIONAL
1095 SW 12th STREET
BOCA RATON, FLORIDA 33486
PHONE: (561) 447-9544 • FAX: (561) 447-4662
E-MAIL: ardi@plana.com

CONSTRUKOMUSA
346 CONSERVATION DRIVE
WESTON, FLORIDA 33327
PHONE: (954) 999-6028 • FAX: (954) 610-4884
E-MAIL: construkomusa@hotmail.com

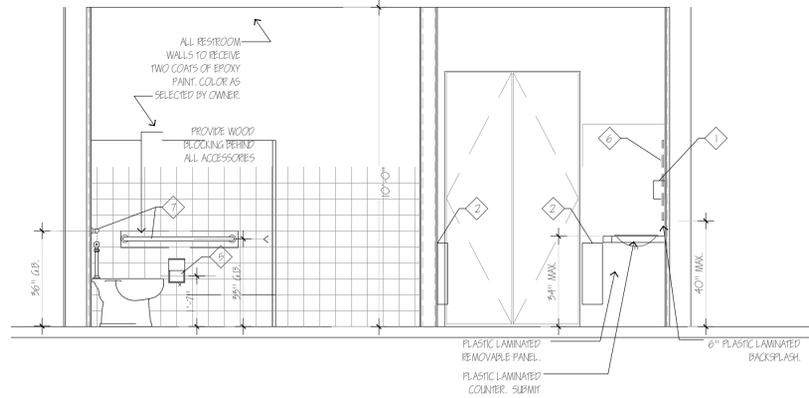


MEN'S RESTROOMS PLAN 1/4"=1'-0"

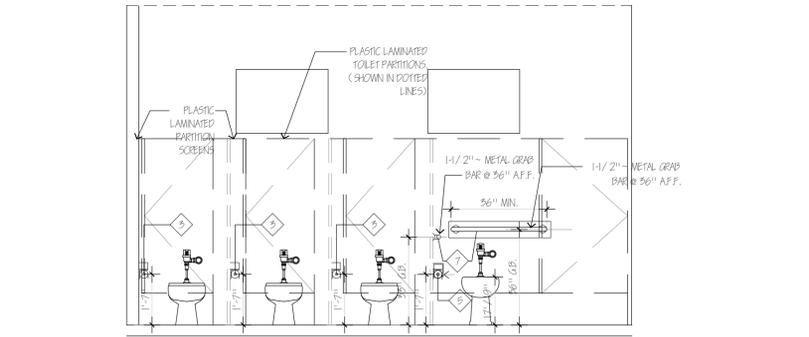
PARTITION SUPPORT NOTE:
 ALL PARTITIONS SUPPORTING WALL-HUNG CABINETS OR PLUMBING FIXTURES SHALL COMPLY W/ F.B.C. 2918.11.5 & 2917.5.1.
 F.B.C. 2918.11.5 - NON-BEARING PARTITIONS SUPPORTING WALL-HUNG PLUMBING FIXTURES AND WALL CABINETS SHALL BE NOT LESS THAN 2x4 @ 16" O.C. MAX. OR NOT LESS THAN 2x6 @ 24" O.C. MAX. F.B.C. 2918.11.5.1 - A MINIMUM 2x4 HORIZONTAL WOOD MEMBER, SECURELY FASTENED TO NOT LESS THAN TWO SUCH STUDS, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL-HUNG PLUMBING FIXTURE AND/OR CABINET.
 F.B.C. 2917.5.1.1 STEEL STUDS SUPPORTING WALL-HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 2x2 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.264 IN. (360 M.).
 F.B.C. 2917.5.1.2 SUCH STUDS SHALL BE RIGIDLY CONNECTED TOP AND BOTTOM TO PREVENT SIGNIFICANT END ROTATION OR DISPLACEMENT.
 F.B.C. 2917.5.1.5 A HORIZONTAL MEMBER SECURELY FASTENED TO NOT LESS THAN TWO STUDS SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL-HUNG PLUMBING FIXTURE.



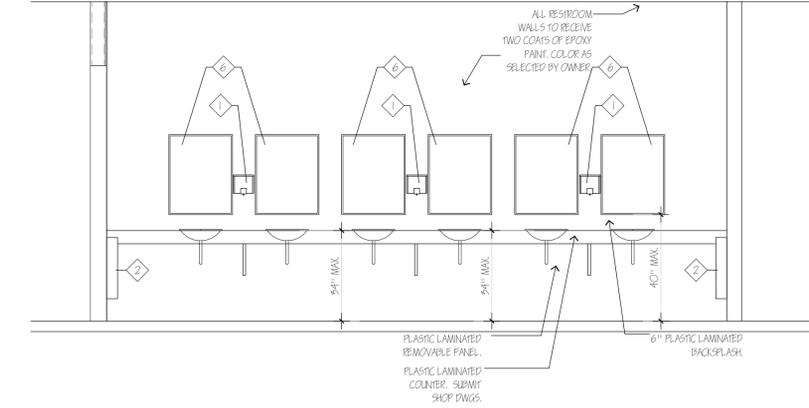
23 Elevation 3/8" MEN PUBLIC RESTROOMS



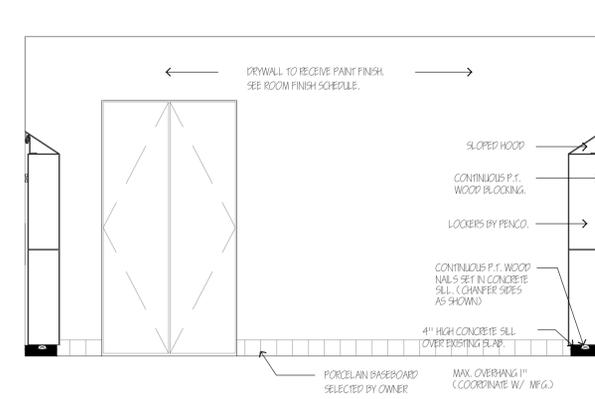
21 Elevation 3/8" MEN PUBLIC RESTROOMS



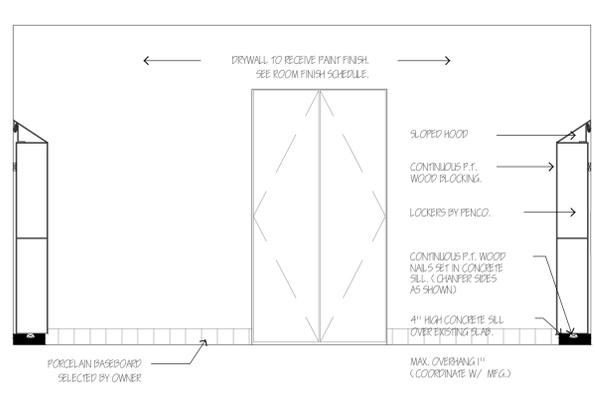
24 Elevation 3/8" MEN PUBLIC RESTROOMS



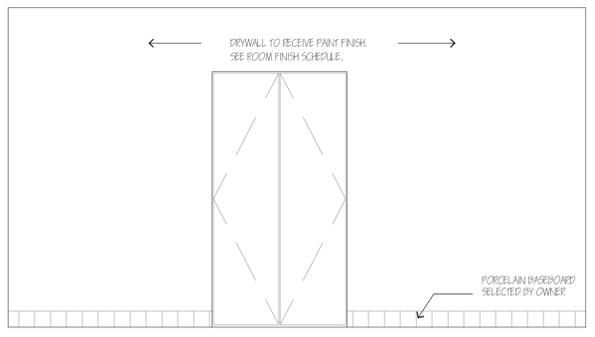
25 Elevation 3/8" MEN PUBLIC RESTROOMS



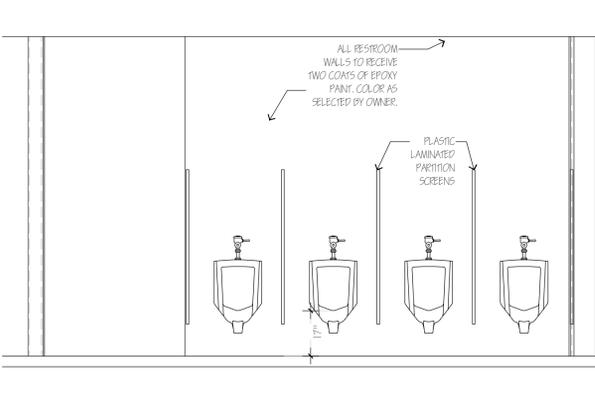
29 Elevation 3/8" MEN PUBLIC RESTROOMS



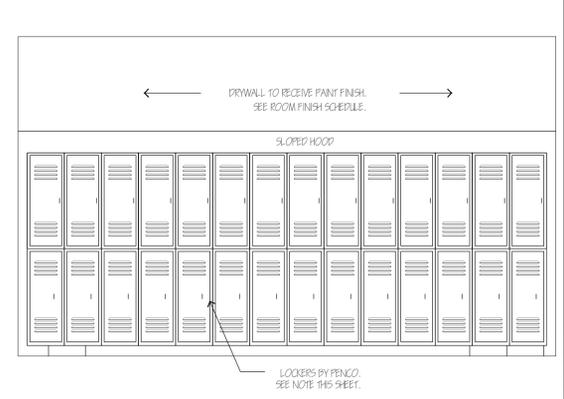
27 Elevation 3/8" MEN PUBLIC RESTROOMS



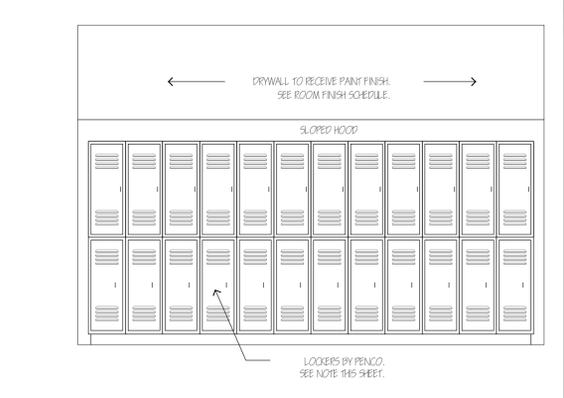
33 Elevation 3/8" MEN PUBLIC RESTROOMS



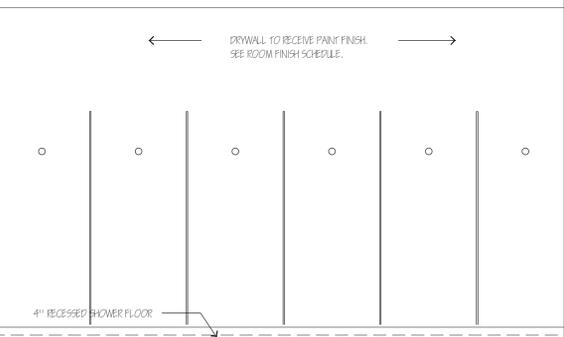
22 Elevation 3/8" MEN PUBLIC RESTROOMS



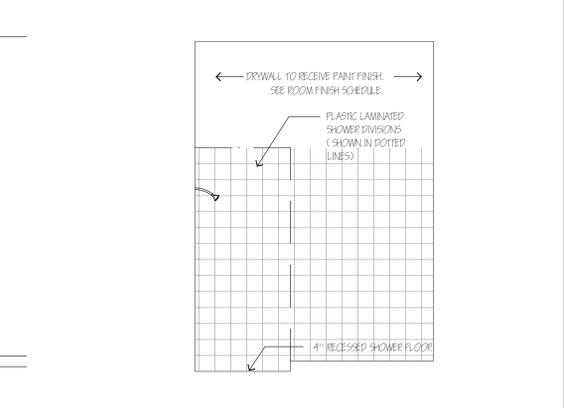
28 Elevation 3/8" MEN PUBLIC RESTROOMS



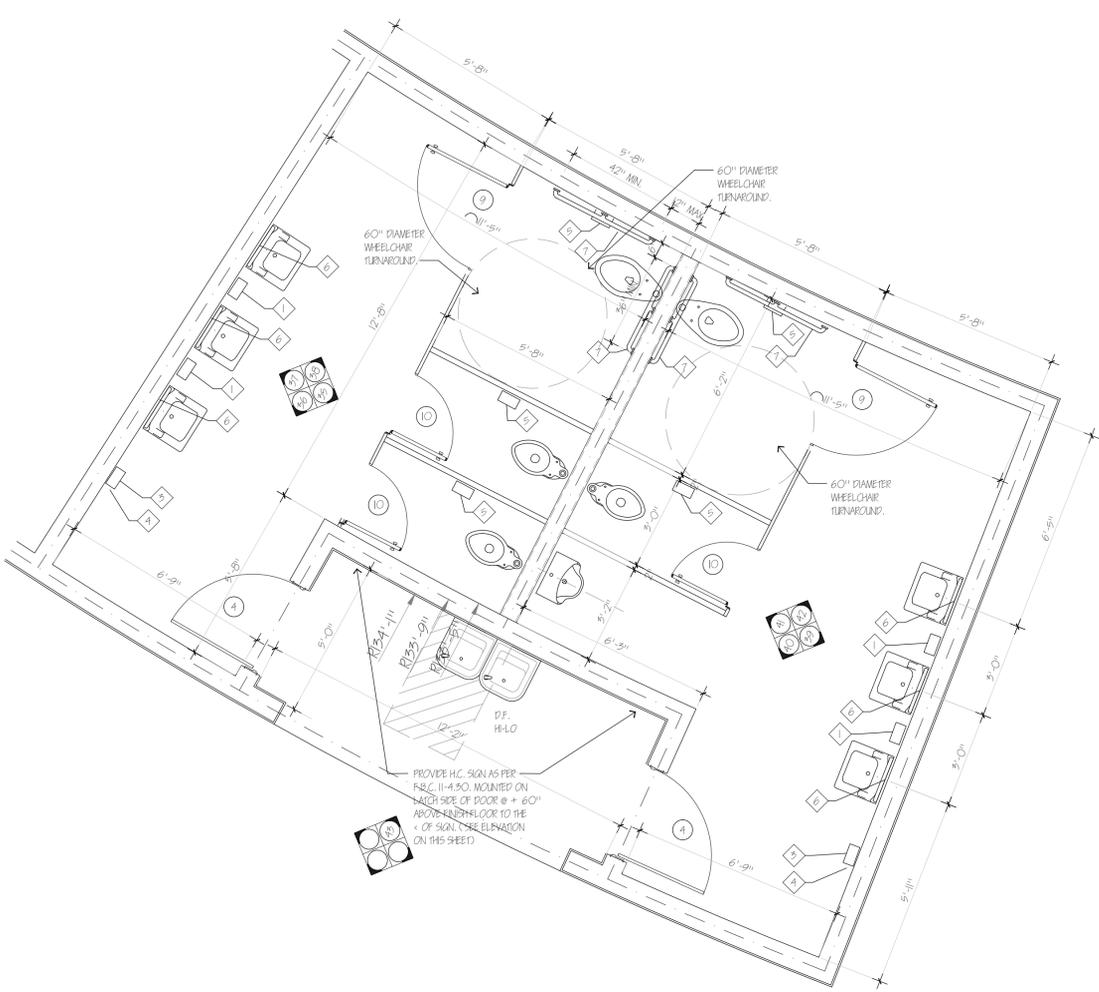
30 Elevation 3/8" MEN PUBLIC RESTROOMS



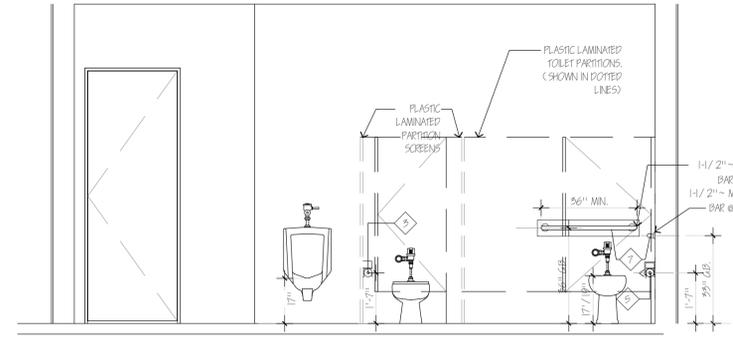
31 Elevation 3/8" MEN PUBLIC RESTROOMS



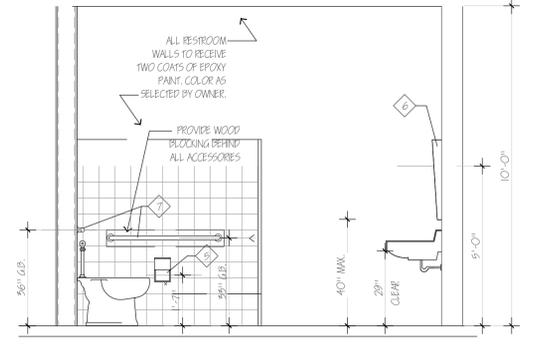
32 Elevation 3/8" MEN PUBLIC RESTROOMS



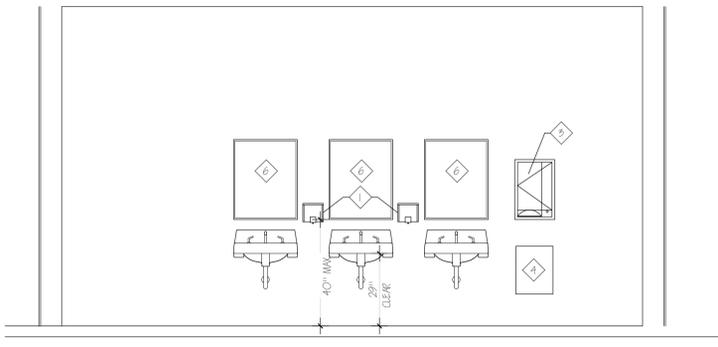
PUBLIC RESTROOMS PLAN 3/8" = 1'-0"



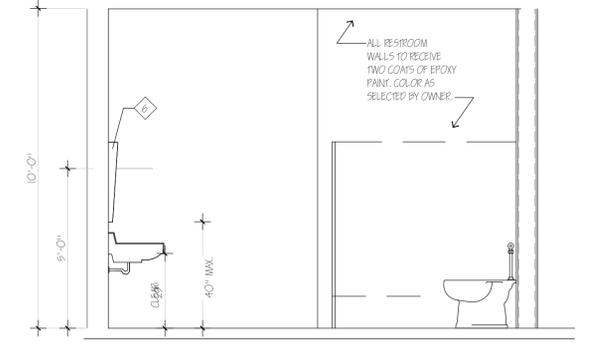
41 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



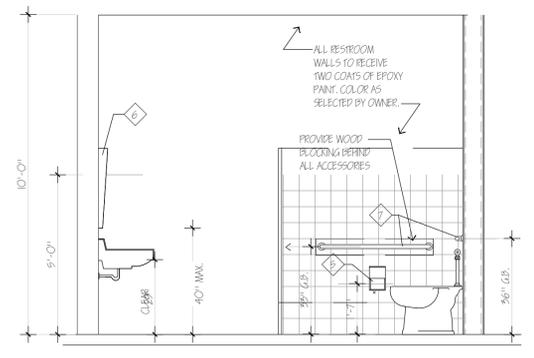
42 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



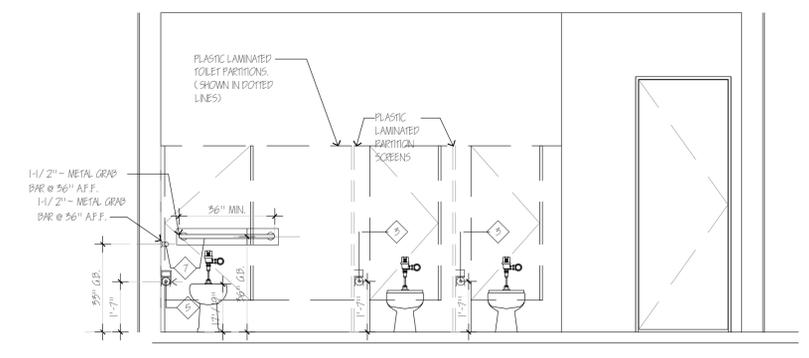
39 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



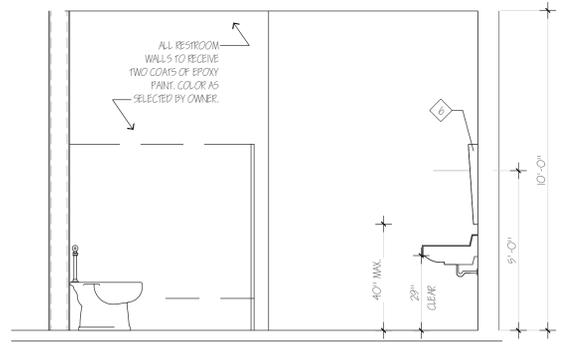
40 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



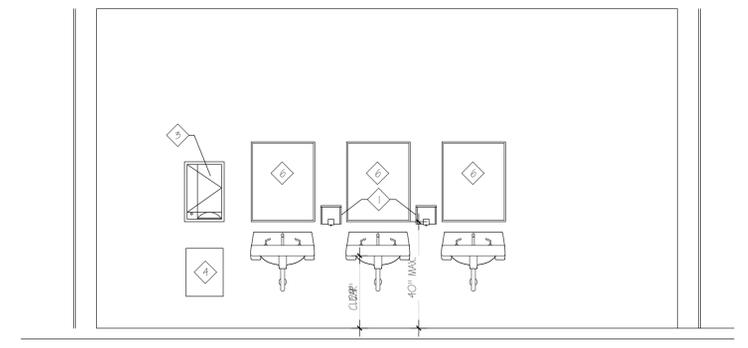
38 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



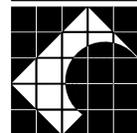
35 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



36 Elevation 3/8"
CITY'S PUBLIC RESTROOMS



37 Elevation 3/8"
CITY'S PUBLIC RESTROOMS

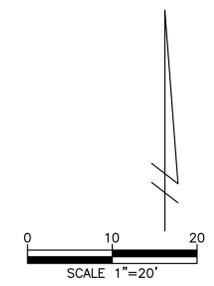
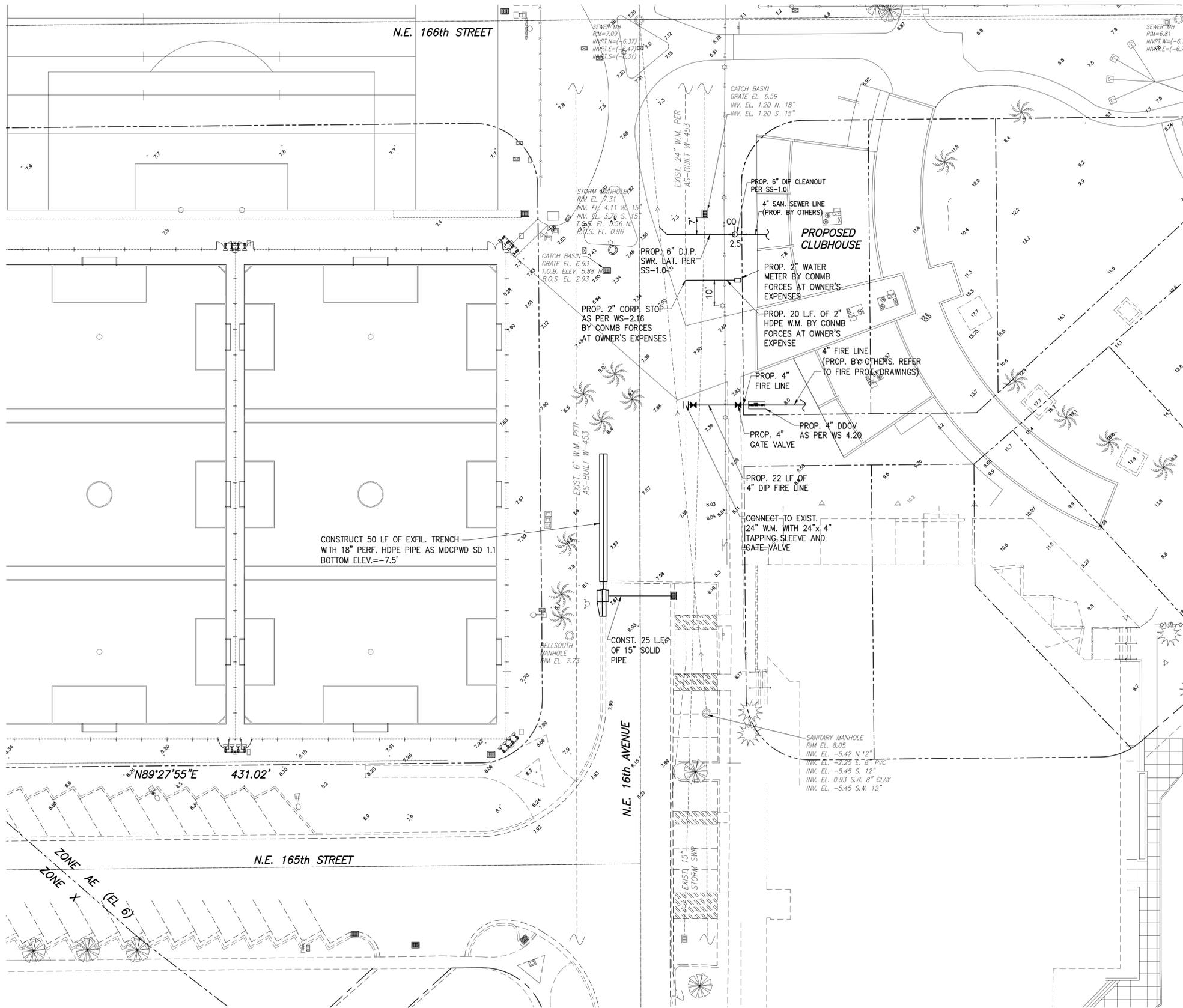


<p>CHARTER SCHOOL CITY OF NORTH MIAMI BEACH PUBLIC RESTROOMS PLAN</p>	<p>DRAWN: GB. CHECKED: JP. DATE: 09/10/2016 SCALE: 3/8"=1'-0" JOB NO.: C224</p>
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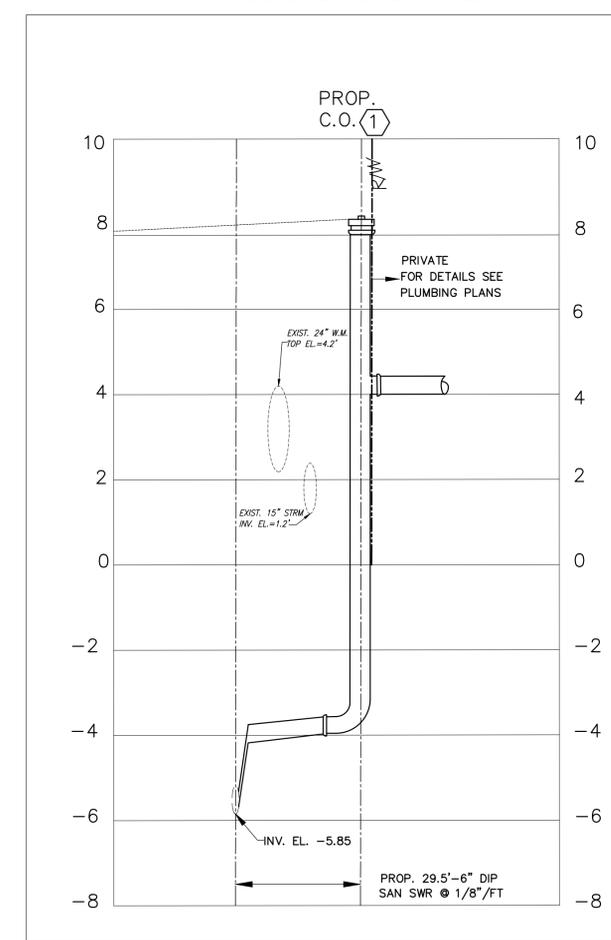
PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
NE 16th AVENUE & NE 165th STREET - NORTH MIAMI BEACH, FLORIDA

PLANA INTERNATIONAL
1035 SW 12th STREET
BOCA RATON, FLORIDA 33486
PHONE: (561) 447-9544 • FAX: (561) 447-4622
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E-MAIL: construkomisa@netnet.com



SEWER LATERAL PROFILE



CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF EXIST. PIPES, MH'S AND POINT OF CONNECTION PRIOR TO COMMENCEMENT OF WORK.



ACE ENGINEERING SOLUTIONS, INC.
 IPLANASR@AOL.COM
 DESIGN AND CONSULTING SERVICES

REVISIONS	BY

PROPOSED SOCCER FIELDS CLUBHOUSE
 WATER, FIRE, AND SEWER
 CONNECTIONS/DRAINAGE
 PLAN AND PROFILE

IVONNE PLANAS, P.E.
 FL. LICENSE 67358
 DATE 02-20-2016
 SCALE AS SHOWN
 DRAWN I.P.
 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF ACE ENGINEERING SOLUTIONS, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OWNER ON OTHER PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO ACE ENGINEERING SOLUTIONS, INC.

RESOLUTION NO. R2015-77

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF NORTH MIAMI BEACH, FLORIDA, GRANTING SITE PLAN APPROVAL TO CONSTRUCT A 9,000 SQUARE FOOT, TWO-STORY CLUBHOUSE BUILDING AND A 435 FEET, 11 INCHES BY 200 FEET, 9 INCHES, SYNTHETIC TURF SOCCER TRAINING FIELD ON 2.94 ACRES, AS PROPOSED, ON PROPERTY LOCATED BETWEEN THE CITY LIBRARY, THE GWEN MARGOLIS AMPHITHEATRE AND MISHCON FIELD FACILITIES ADJACENT TO THE INTERSECTION OF NE 16th AVENUE AND NE 165th STREET (ADDRESS TO BE ASSIGNED).

WHEREAS, the property described herein is zoned CF, Community Facility District (partial) and MU/TC Fulford Mixed Use Town Center District and is an existing City park; and

WHEREAS, the Applicant, Soccer Development Group, LLC, in a public/private partnership with the City of North Miami Beach, requests site plan approval in order to construct a soccer sports facility (see Resolution No. 2015-19, incorporated by reference); and

WHEREAS, the Applicant seeks approval to construct a 9,000 square foot, two-story clubhouse building and a 435 feet, 11 inches by 200 feet, 9 inches, synthetic turf soccer training field, which can be subdivided into small soccer training fields, on 2.94 acres in order to operate a Soccer Facility as a part of the Club Atletico Boca Juniors, Boca Juniors Football Schools; and

WHEREAS, the proposed soccer sports facility will include a food service concession, a soccer pro-shop, administrative offices, a class-room facility, locker rooms, and a storage area for use by the City; and

WHEREAS, on August 10, 2015 the Planning and Zoning Board recommended approval of the site plan, subject to the conditions set forth and included herein below in Section 1, by a vote of 6 to 0.

RESOLUTION NO. R2015-77

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of North Miami Beach, Florida.

Section 1. Site plan approval, to construct a 9,000 square foot, two-story clubhouse building with a 435 feet, 11 inches by 200 feet, 9 inches, synthetic turf soccer training field, which can be subdivided into small soccer training fields on a 2.94 acre lot, as proposed on property (a complete legal description is attached as Exhibit “A” and incorporated herein) located between the City Library, the Gwen Margolis Amphitheatre and Mishcon Field Facilities adjacent to the intersection of NE 16th Avenue and NE 165th Street (address to be assigned), is **HEREBY GRANTED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. Unless otherwise provided, all of the below conditions shall be completed/complied with prior to the issuance of the building permit.
2. The Applicant shall comply with all terms and conditions provided for in the *North Miami Beach Mishcon Park Management Agreement to Provide Professional Soccer Management and Operations Services at the City’s Mishcon Park*, approved as part of Resolution No. 2015-19. Upon a City Council determination of failure to comply with the terms and conditions, this site plan approval shall be deemed null and void.
3. The conditions of approval for this Site Plan are binding on the applicant, the property owners, operators, and all successors in interest and assigns.
4. Application/supporting documentation. Construction of the proposed project shall be in conformance with the following:
 - a. Sketch of Survey prepared by Florida International Land Surveyors, Inc.
 - b. Plans prepared by Construkom USA including the following:
 - Sheet A-1, General Site Plan
 - Sheet A-2, General Site Plan
 - Sheet A-3, Soccer Fields Layout – Phase 1
 - Sheet A-4, Club House Area – Phase 2
 - Sheet A-5, Club House Area – Phase 2, Ground Floor Plan, and Mezzanine Floor Plan
 - Sheet A-6, Club House Area – Phase 2, Roof Plan, and Section
 - Sheet C-1, Civil Plan
 - Sheet C-2, Details
 - Sheet E-1, Electrical Plans and Details
 - Sheet E-2, Photometric Plan and Details

5. All representations and exhibits as prepared and provided to the Community Development Department as part of the Application Submittal Package, as amended.
6. All representations proffered by the Applicant's representatives as a part of the review of the application at public hearings.
7. All comments made by all Staff Reviewers and submitted to the applicant on April 9, 2015 shall be addressed prior to Building permit.
8. All proposed improvements must respond to conditions outlined in the attached memo dated February 17, 2015 and approved through Resolution No R2015-19 including:
 - a. The Soccer Facility may include the following programs, services, activities, and uses: Soccer school, Soccer tournaments, Soccer pro retail shop, Concession restaurant, Seasonal soccer camps, Soccer exhibitions, Administrative offices related to the Soccer Facility, and Soccer related events with prior approval of the City Manager or his/her designee.
 - b. The Soccer Facility may also be used for rental for limited private events such as birthdays, bar/bat mitzvah's, graduations, and other similar social events. Renters of the Soccer Facility (excepting the City) shall be required to provide certificates of insurance evidencing appropriate insurance as determined by the City Manager or his/her designee.
 - c. The public restroom facilities shall be available for use of the public when special events occur in the Gwen Margolis Amphitheater.
 - d. The necessary Building Permit Plans and Specifications shall be submitted to the City's Building Department within 180 days of this approval.
 - e. Substantial completion of the project shall be completed no later than eighteen (18) months from the issuance of a final Full Building Permit.
 - f. The applicant is responsible for maintaining, repairing and replacing the Soccer Facility in good condition and repair, consistent with a premier facility. The applicant is responsible for day-to-day housekeeping, janitorial services and routine maintenance of the Soccer Facility including daily removal of litter, garbage and debris generated by the use of the Soccer Facility.
 - g. The applicant shall provide the following preventative maintenance and services:
 - i. Daily cleaning and janitorial services for the Soccer Facility;
 - ii. Grounds services including field, shrub and tree maintenance and removal of any litter or obstructions from the Soccer Facility;
 - iii. Interior and exterior window cleaning to be performed as needed but no less than once every one hundred and twenty (120) days; and
 - iv. Vermin control as necessary, but no less than once every thirty (30) days.
9. The applicant shall provide a minimum two hundred and fifty (250) square feet of secured storage within the proposed building for the exclusive use of the City of North Miami Beach.
10. All public right-of-way improvements, including but not limited to: Sidewalks, paving and drainage must adhere to City of North Miami Beach standards.
11. All new water and/or sewer installations shall be the responsibility of the developer and must meet City of North Miami Beach standards.
12. Garbage service to be provided by the City of North Miami Beach.

13. Substantial modifications, and/or any alteration to the site plan, building, structure, or project, which is greater than five (5%) percent and/or five hundred (500) square feet to the plans submitted and approved as part of the application shall require the applicant to return to the Planning and Zoning Board and Mayor and City Council for approval. Insubstantial changes, defined as less than five (5%) percent and/or five hundred (500) square feet to the plans submitted and approved as part of the application, may be administratively approved by the City Manager or designee.

Section 2. The City Council makes the following FINDINGS OF FACT based upon the substantial competent evidence provided:

The requested site plan approval is not contrary to the public interest or detrimental to the community and is compatible with the surrounding land uses while maintaining the basic intent and purpose of the zoning and land use regulations.

Section 3. Pursuant to Section 24-172(I) of the Code of Ordinances of the City of North Miami Beach, the applicant must apply for a master building permit from the City within one (1) year of the date of this Resolution or the site plan approval granted shall be deemed null and void and the applicant shall be required to reinstate the site plan review process unless the term is extended administratively or by the City Council prior to its expiration.

Section 4. Pursuant to Section 24-175(C) of the Code of Ordinances of the City of North Miami Beach, the applicant must obtain a Business Tax Receipt within one year of the issuance of a Certificate of Occupancy or within one year of conditional use approval, whichever is longer. This may be extended administratively for good cause for one six-month period by the City Manager or designee. This period may be extended by the Mayor and City Council for good cause.

[SIGNATURE PAGE TO FOLLOW]

APPROVED AND ADOPTED by the City Council of the City of North Miami Beach,
Florida at regular meeting assembled this **8th day of September, 2015.**

ATTEST:



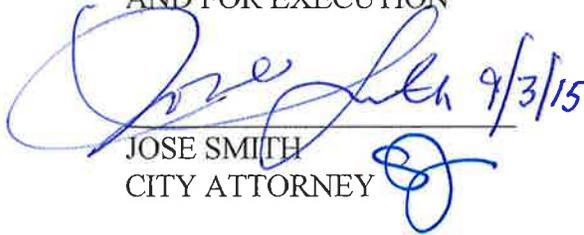
PAMELA L. LATIMORE
CITY CLERK



GEORGE VALLEJO
MAYOR

(CITY SEAL)

APPROVED AS TO FORM & LANGUAGE
AND FOR EXECUTION



JOSE SMITH
CITY ATTORNEY

SPONSORED BY: Mayor and City Council

School Traffic Operation Plan (TOP) Form

This form has been created by Miami-Dade County Public Works and Waste Management (PWWM) to document a school's traffic operations and commitments. SLAM Academy / Michon Park Campus is required to complete the written portions of this form and develop all the necessary illustrations for attachment.

Contents

1.0	Definitions	5.6	Service Vehicle Operations
2.0	School Location	6.0	Pedestrian and Bicycle Facilities
3.0	Educational Program and Enrollment	7.0	Onsite Traffic Personnel and Devices
4.0	School Schedule	8.0	School Crossing and Speed Zone
4.1	School Schedule Commitment	9.0	Offsite Traffic Control Officers
4.2	School Schedule Example	9.1	State Crossing Guards
5.0	Vehicle Operations	10.0	Special Event Provisions
5.1	Vehicle Routes	11.0	Parent Traffic Handbook
5.2	Vehicle Stacking and Staging Spaces	12.0	Attachments
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5.4	School Bus Passenger Loading Zone		
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1.0 Definitions

For the purpose of this document, the following definitions for terms used herein shall apply to all sections unless the context clearly indicates otherwise:

- (1) *Educational program*: A planned curriculum with specific instructional beginning, progression and ending for the enrolled students.
- (2) *Schedule Shift*: A period of time when students are anticipated to be at the school facility to engage in programed activities
 - (2.1) *Instructional Shift*: A period of time when students enrolled in a particular educational program must be in attendance. The beginning of this shift is often referred to as the "first bell" and the ending of this shift is often referred to as a "last bell."
 - (2.2) *Early Arrival Shift*: A period of time when students are allowed into the facility prior to the start of an instructional shift. This period may include other types of programs (e.g. breakfast, before care, etc.).
 - (2.3) *After School Shift*: A period of time when students are allowed to remain at the facility after the end of all instructional shifts. This period may include other types of programs (e.g. after care, extra-curricular, sports, etc.)
 - (2.4) *Study Hall*: A scheduled period of time, which begins with the school's first instructional shift (arrival time) and ends at the school's last instructional shift (dismissal time), where car-pooling students that arrive prior to their instructional shift and/or are dismissed earlier than their pick-up time (due to co-passenger students) are provided free of charge care.
 - (2.5) *Arrival Period*: A time or period of time when students come to school to participate in an educational program. The time or period of time is set by the beginning of one or more instructional shifts.

SLAM Academy / Michon Park Campus School Traffic Operations Plan (TOP) Form

- (2.6) *Dismissal Period:* A time or period of time when students leave school due to the end of an educational program. The time or period of time is set by the end of one or more instructional shifts.
- (3) *Vehicle Route:* A maneuverable continuous vehicle path that provides access to the stacking and staging spaces.
- (4) *Vehicle Stacking Space:* A space in which pickup and delivery of children can take place.
- (5) *Vehicle Queuing Space:* A space where a vehicle can idle while waiting to enter into a stacking space.
- (6) *Vehicle Staging Space:* A space where a service vehicle may remain idle while providing their service.
- (7) *Parked Stacking Space:* A parking space designated for student drop-off and pick-up use during the arrival and dismissal operations.
- (8) *By-Pass Lane:* A minimum 10 foot wide vehicle travel lane adjacent to stacking and queuing spaces whose direction of travel is in the same direction as the stacking and queuing vehicles.
- (9) *Open Parking Space:* A parking space that has no assigned use during the arrival and dismissal operations.
- (10) *Staff Parking Space:* A parking space designated for staff use during the school's hours of operation.
- (12) *Student Parking:* A parking space designated for student use during the school's hours of operation.
- (13) *Pedestrian Route:* A continuous exclusive walking path that provides access from the public right-of-way to a school building entrance.
- (14) *Bicycle Route:* A continuous biking path that provides access from the public right-of-way to the school's bicycle storage.
- (15) *Bicycle Storage:* A designated area where bicycles may be secured and remain in place for the school day.
- (16) *School Traffic Personnel:* A school employee who reinforces the onsite traffic operations by guiding vehicles and pedestrians along designated routes within the school property.
- (17) *Traffic Control Officer:* An individual who has been authorized by a police department to direct traffic or operate a traffic control device as per section 316.640 of Florida Statute.
- (18) *School Special Event:* An organized event at a school facility that generates a peak vehicle trip count or a vehicle accumulation demand greater than the traffic parameters established by the school traffic operation plan.
- (19) *School Crossing:* An official school student crossing on an adopted school route plan of a school safety program. Any crossing not so officially designated is termed a "pedestrian crossing."

2.0 School Location

Specify the school's name, site address, folio and hours of operation within the **Table 2.0-1**.

Table 2.0-1 School Location

Name	SLAM Academy / Michon Park Campus
Address	16601 NE 15th Ave, North Miami Beach, FL 33162
Folio Number(s)	07-2217-003-0010 & 07-2217-003-0011
Hours of Operations	7:00 am – 4:00 pm

3.0 Educational Program and Enrollment

A school provides instructions to students through its *educational programs* (Elementary, Middle, High, ect). Specify the school's educational programs and maximum enrollment by completing **Table 3.0-1**. Indicate the school's programs by entering the student enrollment associated with each program and/or enter "None" for student enrollment if a particular program does not operate at the school.

Table 3.0-1 Educational Program and Enrollment

Educational Program	Grades	Average Maximum Enrollment per Grade	Maximum Enrollment
-	-	-	-
Middle School	6 th – 8 th	+/-133	400
Total Facility Enrollment			400

School may offer educational programs that vary substantially from programs typically offered in schools. Provide a description of the school's educational programs in **Table 3.0-2**.

Table 3.0-2 Educational Program Descriptions

Educational Program	Description
-	-
Middle School	Sports Leadership & Management Curriculum

4.0 School Schedule

A school schedule is composed of *schedule shifts*. A schedule shift may be classified as either a non-instructional shift (Breakfast Program, After School Care, or Extra Curricular Activity) or an *instructional shift*. The educational programs are scheduled by *instructional shifts*. Therefore, every schedule will include at least one instructional shift. A school's *arrival period*, as well as *dismissal period*, should not exceed 1.5 hours because of its effect on school speed zone hours. The different educational programs may be scheduled independently or concurrently, but an educational program may not be divided by multiple instructional shifts. Instructional shifts must be scheduled a minimum of 20 minutes apart to have their vehicle accumulation events be considered as independent events. The schedule may also include an *early arrival shift* and an *after school shift*. A school that proposes to operate with multiple instructional shifts must enact the multiple shifts from inauguration, regardless of student enrollment. For example, a K-8 school, which has two educational programs (K-5 and 6-8), may operate with one or two instructional shifts, but may not operate with three instructional shifts.

A school's schedule may often be influenced by the site's vehicle accumulation capacity and other off-site traffic operational factors. A site's vehicle accumulation capacity and other factors are typically defined within a traffic study conducted by the school.

Schools that operate with multiple instructional shifts are required to operate a "study hall" period. The study hall period begins with the school's first arrival time and ends at the school's last dismissal time. This period must be provided free of charge for car-pooling students that arrive prior to their instructional shift and/or are dismissed earlier than their pick-up time due to co-passenger students.

4.1 School Schedule Commitment

The school schedule will maintain the maximum number of students allowed per instructional shift and operate with the number of instructional shifts stated in **Table 4.1-1**, with a minimum 20 minute separation between any two instructional shifts. Parental vehicular access to onsite passenger loading facilities shall be open a minimum of 30 minutes prior to all arrival and dismissal time(s).

The school will operate a "study hall" period when its schedule has more than one instructional shift.

Table 4.1-1 School Schedule Commitment

Period	Maximum Number of Students Allowed within a Schedule Shift	Number of Instructional Shifts
Arrival	+/- 400	1
Dismissal	+/- 400	1

4.2 School Schedule Example

The school is required to maintain the schedule commitment at all times. This commitment will define the school staggered shift schedule format, but actual start and end times may differ. Provide an example of the school schedule at full capacity in **Table 4.2-1**.

Table 4.2-1 School Schedule Example at Full Capacity

Schedule Shift	Grades	Days [M, Tu, W, Th, F]	Begin Time	End Time	No. of Students
1 ST SHIFT – (Arrival)	6 th – 8 th	M-F	7:30 AM	8:00 AM	400
Shift Type	PK-12	M-F	0:00	0:00	#
1 ST SHIFT – (Dismissal)	6 th – 8 th	M-F	3:00 PM	3:30 PM	400
Shift Type	PK-12	M-F	0:00	0:00	#

School may offer educational programs that vary substantially from programs typically offered in schools. Provide a description of the school’s schedule shifts in **Table 4.22**.

Table 4.2-2 School Schedule Shift Descriptions

Schedule Shift	Description (Instructional, Extra Curricular)
-	-
Middle School	Sports Leadership & Management Curriculum

5.0 Vehicle Operations

A school has various vehicle types that access the site regularly. These vehicle types may include automobiles, school buses, and service vehicles such as food delivery trucks and trash collecting trucks. The various vehicles require clear traffic patterns to maintain the site's safety and maneuverability when accessing the site. These patterns are termed *vehicle routes*. Once vehicles are on site, they accumulate as parking, *stacking*, *queuing*, or *staging*. The following section will formally define these vehicle routes and spaces within the TOP.

5.1 Vehicle Routes

Vehicle routes consist of an entry, a pathway, and an exit. All routes must provide the appropriate geometry (e.g. lane width, effective radii) to accommodate the intended vehicles.

The route should minimize the number of conflict throughout its pathway. Each portion of the route must be identified using the following formats stated below.

Vehicle Route Naming Format: Each route must be assigned a name that indicates its intended “purpose” and “service”. Use the abbreviations contained in **Table 5.1-1** to appropriately name the routes. For example, a curbside automobile passenger loading zone that is to be used by parents dropping-off elementary school students would be named “A(K-5)”.

Table 5.1-1 Route Name Key

“Purpose”		“Service”	
A	Automobile Loading Zone	K-12	Student Passengers –specify grade range
B	Bus Loading Zone	Food	Food Delivery
P	Parking	Trash	Garbage Pick-up
S	Service Vehicle	Delivery	General Delivery
PED	Pedestrian Pathway		
BIK	Bicycle Pathway		

Route Entry and Exit Label Format: Each route’s entry and exit location must be assigned a label. Each location label will be composed of an abbreviated location type and a number. Use **Table 5.1-2** to provide the correct abbreviated location type and number. **Route names, entries, and exits must be illustrated in a plan view and attached to this document.**

Table 5.1-2 Route Entry and Exit Location - Labeling Key

Location Type		Number
DW	Driveway accessing the site	Number all the locations sequentially for each “location type” set. Start with the number 1. Begin numbering from the NE corner of the plan and increase the numbers sequentially in a clock-wise direction until all locations are labeled.
P	Point located within a plan	
E	Pedestrian and Bicycle Entrance and/or Exit	

Example: The entry and exit locations for a site that has two driveways (DW-1, DW-2) connecting to the public right-of-way, an internal drive aisle (P-1) connecting to the adjacent property, and a sidewalk connecting the main entrance (E-1) to the public right-of-way (E-2); will have three vehicle locations labeled as DW-1, DW-2, and P-1 and two pedestrian locations labeled E1 and E2.

Entry and exit points along the vehicle route may have operational restrictions. The restrictions may be in place permanently or only during the times when the TOP is in effect. Use **Table 5.1-3** to better understand the restriction notes to be used throughout this form.

Table 5.1-3 Route Restrictions Note Key

Restriction Note	Description
Right In Only	Vehicles may only enter into this location via a right turn movement.
One Way Only	All traffic is moving solely in one direction at this location.
Right Out Only	Vehicles may only exit out of this location via a right turn movement.

5.2 Vehicle Stacking and Staging Spaces

All stacking and staging spaces must be accessed through a vehicle route. The stacking, queuing, and staging spaces along a vehicle route may not impede the operations of any other concurrently operating vehicle route or space operation. For example, a stacked or queued vehicle may not be located within the maneuvering “back-out” area of a parking space designated as a *parked stacking space*.

Vehicle stacking spaces within passenger loading zones must have a passenger landing area for entering and exiting the vehicle. A 10 foot minimum *by-pass lane* must be provided for passenger loading zones whose combined stacking and queuing spaces are longer than 3 consecutive vehicle spaces. Parking spaces may be designated as stacking spaces. Access to the vehicle stacking spaces must be opened 30 minutes before the first scheduled time of use.

5.3 Automobile Passenger Loading Zone Operations

An automobile passenger loading zone is a designated area for stacking automobiles and vans to load and unload passengers to and from a prescribed landing area. The pedestrian landing area for automobile loading zones must be located on the right side of the vehicle and should have a minimum size of 5 feet by 5 feet. Typically these landing areas are considered curbside passenger loading areas because the vehicles stack adjacent to a curbed sidewalk. Automobile passenger loading zones that have a by-pass lane should taper the head of the zone (the front space of the stacking line) towards the by-pass lane to merge the exiting stacked vehicles into the by-pass lane.

Specify if the school operates one or more automobile passenger loading zones by providing information of the vehicle route that provides access to the zone within the **Table 5.3-1**, or indicate no zone by entering “None” for the route name. **The vehicle route must be illustrated in a plan view and attached to this document.**

Table 5.3-1 Automobile Loading Zone Route Description

Route Name	Entrance Point	[X]	Restriction	Exit Point	[X]	Restriction	Description
A	DW-1	X	Right In Only	DW-2		Right Out Only	
			One Way Only			One Way Only	
			Right In Only			Right Out Only	
			One Way Only			One Way Only	
			Right In Only			Right Out Only	
			One Way Only			One Way Only	

The use of automobile passenger loading zones are limited to automobiles and vans only. Each vehicle space is measured at 22 feet long and 8 feet wide. If the school operates with an automobile passenger loading zone, indicate its capacity in **Table 5.3-2**. Enter zero (0) for the total capacity if the school does not have an automobile passenger loading zone.

Table 5.3-2 Automobile Loading Zone Vehicle Capacity Summary (Automobiles and Vans)

Route Name	Stacking Space Capacity	Queuing Spaces Capacity	Total Capacity
A	5 vehicles	60 vehicles	65 Vehicles

5.4 School Bus Passenger Loading Zone Operations

A school bus passenger loading zone is a designated zone for stacking school buses to load and unload passengers to and from a prescribed landing area. The pedestrian landing area for school bus passenger loading zones must be located on the right side of the vehicle and should have a minimum size of 8 feet by 8 feet.

Specify if the school operates one or more school bus passenger loading zones by providing information of the vehicle route that provides access to the zone within the **Table 5.4-1**, or indicate no zone by entering "None" for the route name. **The vehicle route must be illustrated in a plan view and attached to this document.**

Table 5.4-1 School Bus Passenger Loading Zone Route Description

Route Name	Entrance Point	[X]	Restriction	Exit Point	[X]	Restriction
B	DW-1	X	Right In Only	DW-2		Right Out Only
			One Way In			One Way Out
			Right In Only			Right Out Only
			One Way In			One Way Out
			Right In Only			Right Out Only
			One Way In			One Way Out

The use of school bus passenger loading zones are limited to only school buses during arrival and dismissal operations. Each bus vehicle space measures 50 feet long and 10 feet wide unless otherwise stated in **Table 5.4a-2**. If the school operates with a school bus passenger loading zone, indicate its capacity in **Table 5.4-2**. Enter zero (0) for the total capacity if the school does not have a school bus passenger loading zone.

Table 5.4-2 Bus Loading Zone Vehicle Accumulation Capacity Summary

Route Name	Stacking Spaces Capacity	Queuing Spaces Capacity	Bus Capacity
NONE	4	N/A	4

The school's bus operations may be voluntary, recommended in a traffic study, and/or mandated by zoning resolution. Complete the section 5.4a to specify the minimum number of school buses required to operate at the school.

5.4a School Bus Commitment

Specify the school's busing commitment by completing **Table 5.4a-1** and **Table 5.4a-2**. Report zero (0) number of buses if the school has no busing commitment. Standard bus types have been provided in **Table 5.4a-2** for convenience.

Table 5.4a-1 Bussing Commitment

Minimum Number of Inbound Buses Required During the Arrival Period	Minimum Number of Outbound Buses Required During the Dismissal Period
N/A	N/A

Table 5.4a-2 Bus Type and Capacity

Quantity	Bus Type	Length	Width	Capacity	Student Total by Type
-	S-BUS-11 [S-BUS-36]	45	10	65	
-	S-BUS-12 [S-BUS-40]	50	10	84	
Students Grand Total					+/- 40

The school is required to provide a school bus program that maintains the required minimum bus ridership participation reported in **Table 5.4a-1** and **Table 5.4a-2**; and manage the program to ensure that bus accumulations are contained within the designated bus stacking and queuing spaces.

5.5 Parking Stall Operations

All parking spaces used during the school's operation must be identified. The parking spaces must meet all governing parking stall codes.

Parked stacking spaces must have an unobstructed vehicle route to access these spaces during arrival and dismissal shifts. Parking spaces that have no assigned use during arrival and dismissal operations due to vehicle route obstructions will be termed *open parking spaces*. A cross parking agreement is required for all off-site privately managed parking spaces.

Specify the school's parking space usage and quantities by completing **Table 5.5-1**. The parking spaces must be illustrated in a plan view and attached to this document.

Table 5.5-1 Proposed Parking Use Summary

Parking Space Use	Onsite		Offsite
	Provided	Required	Provided
Staff	26	26	0
Student	N/A	N/A	N/A
Parked Stacking	N/A	N/A	-
Open	4	4	-
Total	30	30	0

If the school has parked stacking spaces or *student parking spaces*, specify the route information that provides access to those spaces within the **Table 5.5-2**, or indicate no routes by entering "None" for the route name. **The vehicle route must be illustrated in a plan view and attached to this document.**

Table 5.5-2 Parked Loading Zone Route Description

Route Name	Entrance Point	[X]	Restriction	Exit Point	[X]	Restriction
N/A	N/A	<input type="checkbox"/>	Right In Only	N/A	<input type="checkbox"/>	Right Out Only
		<input type="checkbox"/>	One Way In		<input type="checkbox"/>	One Way Out
		<input type="checkbox"/>	Right In Only		<input type="checkbox"/>	Right Out Only
		<input type="checkbox"/>	One Way In		<input type="checkbox"/>	One Way Out

5.6 Service Vehicle Operations

Schools often require service vehicles to enter and maneuver within the site to provide facility services. Specify the school's service vehicle routes by providing the vehicle route information within the **Table 5.6-1**, or indicate no routes by entering "None" for the route name. **The vehicle route must be illustrated in a plan view and attached to this document.**

Table 5.6-1 Service Vehicle Route Description

Route Name	Entrance Point	[X]	Restriction	Exit Point	[X]	Restriction	Operation Period (times)
SV	DW-1	X	Right In Only	DW-1	<input type="checkbox"/>	Right Out Only	10am-1pm 4pm-6pm
			One Way In		<input type="checkbox"/>	One Way Out	
			Right In Only		<input type="checkbox"/>	Right Out Only	
			One Way In		<input type="checkbox"/>	One Way Out	
			Right In Only		<input type="checkbox"/>	Right Out Only	
			One Way In		<input type="checkbox"/>	One Way Out	

6.0 Pedestrian and Bicycle Facilities

A *pedestrian route* originating from the public right-of-way must be provided to all school building entrances. The route should be a minimum of 5 feet wide and have all the required elements when crossing a motorized vehicle travel lane (crosswalk, pedestrian ramp, etc.). All student entrances to the school site and buildings must be labeled by using **Table 5.1-2**. Only the main entrance is required to be labeled when multiple buildings are interconnected with pedestrian pathways.

Bicycle routes that are combined with pedestrian traffic must have an eight (8) foot minimum width.

For sites that have a bicycle storage area and that only provide standard pedestrian path widths are required to instate the following policy: *“All bicyclists must dismount their bicycles and walk their bicycles to the designated bicycle storage when entering or exiting to the school site.”*

Specify the pedestrian routes by providing the route information within the **Table 6.0-1**. The **pedestrian route must be illustrated in a plan view and attached to this document.**

Table 6.0-1 Pedestrian Route Description

Route Name	Off-Site Entrance Point	Building Entrance Point	Operation Period (0:00-0:00)
Pedestrians to use existing Mischon Park pedestrian infrastructure			7:00 am - 4:00 pm

Specify the bicycle routes by providing the route information within the **Table 6.0-2**, or indicate no routes by entering “None” for the route name. **The bicycle route must be illustrated in a plan view and attached to this document.**

Table 6.0-2 Bicycle Route Description

Route Name	Entrance Point	Exit Point	Operation Period (0:00 – 0:00)
Bike riders to use existing Mischon Park bike routes			7:00 am - 4:00 pm

Identify the *bicycle storage* locations throughout the site by labeling each location according to the following instructions: Each location must be label with the letters BS followed by a number (e.g. BS1). Begin with number 1. Do not repeat any location labels. List the storage locations

and its capacity in **Table 6.0-3**. Enter “none” for the location to indicate no bicycle storage. **The bicycle storage location must be illustrated in a plan view and attached to this document.**

Table 6.0-3 Bicycle Storage Description

Bicycle Storage Location	Bicycle Capacity
Students to use existing Mischon Park bicycle racks	

7.0 Onsite Traffic Personnel & Devices

A functioning school TOP requires adherence to the prescribed routes and operations. Often *school traffic personnel* is required to guide pedestrians within passenger loading zones, assist with traffic flow at route conflict points, and encourage adherence to prescribed routes in areas not defined by the infrastructure’s geometry. The school shall supply staff to direct any vehicles which may stage or stack in through travel lanes or non-designated parking areas within the public rights-of-way onto the school site.

School traffic personnel should be stationed and assigned the following duties at the corresponding locations: assist students entering and exiting vehicles at loading zones (loading); guide traffic at points where active route pathways intersect (conflict); and encourage adherence at pathway decision points along the route (diverting). School traffic personnel school be on duty at least 30 minutes prior to scheduled shifts.

Identify the school traffic personnel stations throughout the site by labeling each station according to the following instructions: Each station must be label with the letter S followed by a number (e.g. S1). Begin with number 1. Do not repeat any station labels. List the station locations and personnel duties in **Table 7.0-1**. Enter “none” for the location to indicate no school traffic personnel stations. **The school traffic personnel stations must be illustrated in a plan view and attached to this document.**

Table 7.0-1 Onsite School Traffic Personnel

Station Label	Personnel Duties (Loading, Conflict, Diverting)	Arrival Duty Period		Dismissal Duty Period	
		From	To	From	To
S1	Guide Traffic / Diverting	8:00	8:30	2:15	2:45
S2	Guide Traffic / Diverting / Conflict	8:00	8:30	2:15	2:45
S3	Unloading / Loading Vehicles	8:00	8:30	2:15	2:45

Temporary traffic control devices (e.g. parking cones) may be useful at points within the routes that are not defined by the infrastructure’s geometry and where school traffic personnel are not stationed. These temporary traffic devices may not be used in the public right-of-way unless managed by a traffic control officer.

Identify the temporary traffic control devices located throughout the site by labeling each location according to the following instructions: Each location must be label with the letter C followed by a number (e.g. C1). Begin with number 1. Do not repeat any station labels. List the device location and description in **Table 7.0-2**. Enter “none” for the location to indicate that no devices will be used. **The device locations must be illustrated in a plan view and attached to this document.**

Table 7.0-2 Onsite Temporary Traffic Control Devices

Location Label	Device Description (Number of Cones, Barricades, or Gates)	Arrival Duty Period		Dismissal Duty Period	
		From	To	From	To
C#	Device	0:00	0:00	0:00	0:00
NONE					

7.1 School Personnel Commitment

The school is required to provide the school traffic personnel and temporary traffic control devices stated in **Table 7.0-1** and **Table 7.0-2**. School traffic personnel must direct the school’s traffic into onsite by-pass lanes or any available vehicle staging spaces during peak traffic generation periods to create additional onsite accumulation capacity when school related vehicle are queuing within non-designated areas of the right-of-way and/or through travel lanes.

8.0 School Zone and Crossings

School zones may be provided for schools to alert drivers that they will be traveling near a school. A school zone is composed of signs and pavement markings. The school zone may also include a speed zone component that requires driver to reduce their travel speed. The speed zone is often enacted to provide control at designated *school crossings* serving elementary and middle schools. The school speed zone component may be composed of signs, pavement markings, and flashing beacons (as per the governing standard). The speed zone is required to be installed for school crossings when applicable.

Indicate the existing and/or proposed school crossing(s) serving the school site within **Table 8.0-1**. Enter "none" for the road name to indicate that no school crossing exists or is proposed for this school. **The school crossing locations must be illustrated in a plan view and attached to this document.**

Table 8.0-1 School Crossing Description

Location	Intersection [x]	Mid-Block [x]	Uncontrolled [x]
The site is served by multiple crosswalks at various intersections. Middle school students that walk to the campus are required to use the existing pedestrian crosswalks serving Mischon Park	Various		

Indicate the existing and/or proposed school zones associated with the school site within **Table 8.0-2**. Enter "none" for the road name to indicate that no school zone exists or is proposed for this school. Indicate if a speed zone is a component of the school zone by marking the appropriate check box.

Table 8.0-2 School Zone Description

Location	Existing [x]	Proposed [x]	Signs & Markings [x]	Speed Zone [x]	Flashing Beacons [x]
Applicant will coordinate location of school zone-related signage, if needed, with Miami-Dade County and City of NMB staff.		TBD			

A school speed zone should not have a continuous duration longer than two hours. If this school is served by a school speed zone, then specify the zone's posted hours in **Table 8.0-3**. Enter "none" for the period to indicate no posted hours. Use PWWM School Speed Zone Policy to determine appropriate time periods. Note that if the school is located in close proximity to an existing school speed zone (less than 300 feet), the zone and time period may be modified to cover both schools. Indicate below if the times are paired. If paired, provide areal illustrating adjacent school(s).

Table 8.0-3 School Speed Zone Posted Times Is this a paired Zone? No Yes

Days of the Week	Arrival Period AM		Dismissal Period PM	
	From	To	From	To
Monday	TBD	TBD	TBD	TBD
Tuesday				

Wednesday				
Thursday				
Friday				

9.0 Offsite Traffic Control Officers

Enforcement of the TOP routes and operations within the public right-of-way may only be performed by *traffic control officers* as per section 316.640 of the Florida Statute. Traffic control officers should be present during the start of each semester (first two weeks) to reinforce the traffic patterns established by the TOP. Specify the number, location, and duration of traffic control officers required to adequately enforce the TOP within **Table 9.0-1**.

Table 9.0-1 Traffic Control Officer Enforcement Plan

No. of Officers	Intersection or Segment with Boundaries	Arrival	Dismissal	Semester Start	All Year
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

The school's endorsement of the traffic control officer enforcement plan must be stated within **Table 9.0-2**.

Table 9.0-2 Traffic Control Officer Reinforcement Commitment

Check Box [x]	Reinforcement Commitment
<input checked="" type="checkbox"/>	By marking this check box, the school agrees to provide all necessary resources to ensure traffic control officers will be present to enforce the TOP, as stated in Table 9.0-1 .

A traffic control officer may be stationed at an intersection to improve vehicle delays and operations during a peak traffic demand period. Schools may be required to provide the officer, or may do so voluntarily. Specify the commitment, location, and duration of the traffic control officer stations required for LOS management within **Table 9.0-3**. Enter "none" for the intersection to indicate that no officer management is voluntarily offered or required.

Table 9.0-3 Traffic Control Officer Stations for LOS Management Plan

Intersection	Required (R) Voluntarily (V)	Arrival Time Period		Dismissal Time Period	
		From	To	From	To
N/A	N/A				

9.1 State Crossing Guards

A school may implement a crossing guard program to assist young (K-8) students traversing school crossings when walking to and from school. A crossing guard is not traffic control officer, unless the guard is trained as a traffic control officer and employed subject to the conditions described in section 316.640, F.S. Specify the crossing guard stations and duration within **Table 9.1-1**. Enter "none" for the station to indicate that no crossing guards are stationed to serve the school.

Table 9.1-1 Crossing Guard Stations

No. of Guards	School Crossing Station (Intersection)	Arrival AM Time Period		Dismissal PM Time Period	
		From	To	From	To
N/A					

10.0 School Special Events

Planned school events, such as sporting events, school assemblies, and ceremonies may often generate larger peak traffic volumes and vehicle accumulations than a typical school day. The school will be required to manage the traffic impacts produced by a *school special event* within its neighborhood. Specify the special event types and provisions selected to mitigate its traffic impacts within **Table 10.0-1**. Enter "none" for event type to indicate that no school special events will planned at the school site.

Table 10.0-1 School Special Event Provisions

Event Type	Provision Descriptions
GENERAL	SCHOOL SHALL RESERVE ASSEMBLY FACILITIES FOR EVENTS THAT REQUIRE LARGE GATHERINGS
MINOR REQUIRED ON-SITE EVENTS	EVENTS REQUIRING SCHOOL ATTENDANCE SHALL NOT COINCIDE WITH PEAK TRAFFIC AND SHALL BE DIVIDED INTO SESSIONS SO AS NOT TO EXCEED PARKING AVAILABLE.

11.0 Parent Traffic Handbook

The Parent Traffic Handbook specifies a parent's child safety responsibilities and commitment to achieve an efficient traffic flow during the arrival and dismissal times. Parents of new students should be issued a Parent Traffic Handbook containing this TOP and are required to sign a contract with the school, which includes adherence to pick-up and drop-off procedures. Additionally, parents should be reissued the Parent Traffic Handbook and contract each new school year. The handbook and contract should be reviewed and signed during Parent Orientation prior to the start of school. **A sample of the Parent Traffic Handbook and contract must be attached to this document.**

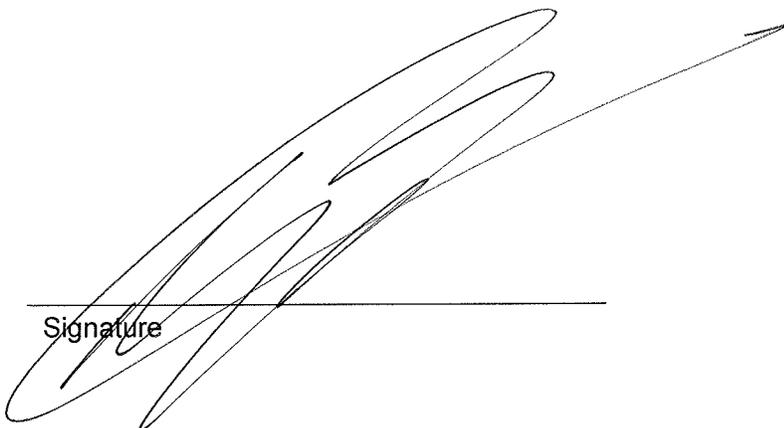
12.0 Attachments

The following documents are required to be attached to the TOP.

1. A plan sheet showing all required illustrations stated within this TOP form. (It is suggested that TOP operations that vary by instructional shifts be shown in independent plan sheets.)
2. A Parent Traffic Handbook and contract sample.
3. A Cross-parking agreement (if utilized).

13.0 Endorsement

By signing below, the school owner agrees to operate the school as prescribed within this document and will uphold all commitments specified herein.



Signature

Date

4-19-2016

Rene Ruiz

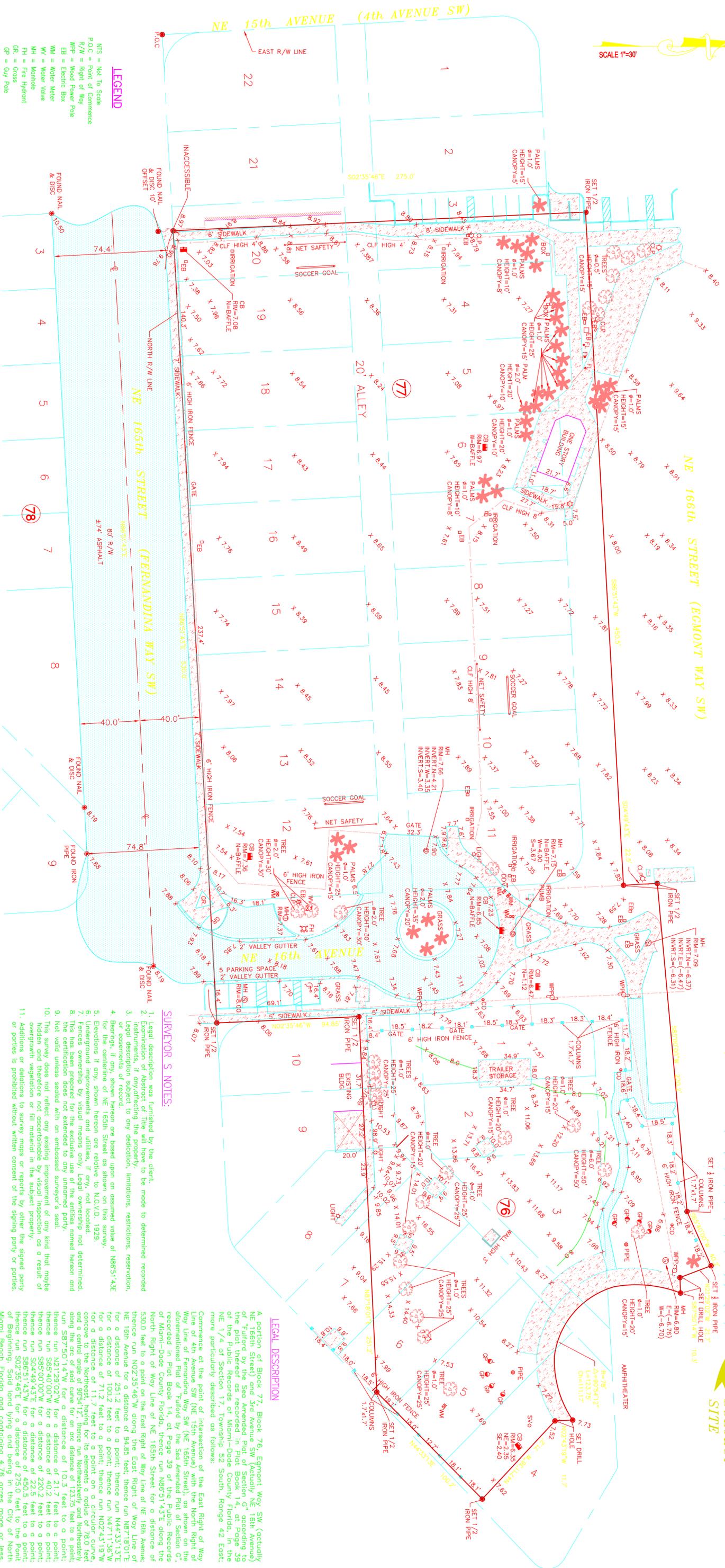
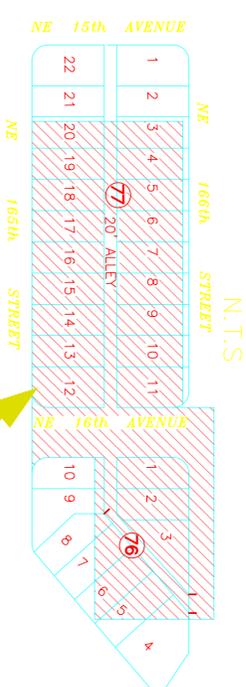
Print Owner Name

BOUNDARY SURVEY

FLORIDA INTERNATIONAL
LAND SURVEYORS, INC.

5861 NW 151th STREET, SUITE 213
MIAMI LAKES, FLORIDA, 33014
PH: (305) 488-9650 FAX: (305) 828-2315

LOCATION SKETCH



LEGEND

- NS = Not To Scale
- P.O.C. = Point of Commence
- R/W = Right of Way
- WPP = Wood Power Pole
- EB = Electric Box
- WM = Water Meter
- HW = Water Valve
- MH = Manhole
- FR = Fire Hydrant
- GP = Guy Pole
- CO = Clean Out
- SV = Sanitary Valve
- CDP = Concrete Light Pole
- DDV = Double Detector Check Valve
- X 7.76 = Denotes Elevations
- [Symbol] = Denotes Asphalt
- [Symbol] = Denotes Concrete
- [Symbol] = Denotes Wall

BENCHMARK

NAME: N-527-R ELEVATION: 5.49 (NGVD)
located at NE 170th Street & NE 15 Avenue
North Miami Beach, Florida.

NATIONAL FLOOD INSURANCE DATA:

City of North Miami Beach-Panel No.: 120566-0141-L
Flood Zone AE
Base Flood Elevation: 6.00 Feet (NGVD)
Firm Date : 09/11/09

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT: the attached Boundary Survey of the above described property is correct to the best of my knowledge and belief as recently surveyed under my direction, and meets the intent of the Minimum Technical Standards set forth by the Florida Board of Professional Land Surveyors and Mappers in Chapter 5A-17, Florida Administrative Code, pursuant to Section 472.027 of Florida Statutes.

SURVEYOR'S NOTES:

1. Legal description was furnished by the client.
2. Examination of Abstract of Title will have to be made to determined recorded instruments, if any, affecting the property.
3. Legal description subject to any dedication, limitations, restrictions, reservation, or easements of record.
4. Bearings if any, shown hereon are based upon an assumed value of N86°51'43"E for the centerline of NE 165th Street as shown on this survey.
5. Elevations if any, shown hereon are relative to N.G.M.D. 1929.
6. Underground improvements and utilities, if any, not located.
7. Fences ownership by visual means only. Legal ownership not determined.
8. This has been prepared for the exclusive use of the entities named hereon and the certification does not extend to any unnamed party.
9. Not void unless sealed with an embossed surveyor's seal.
10. The survey does not reflect any existing improvement of any kind that maybe hidden and therefore not ascertainable by visual inspection as a result of overgrowth vegetation or fill material in the subject property.
11. Additions or deletions to survey maps or reports by other the signed party or parties is prohibited without written consent of the signing party or parties.

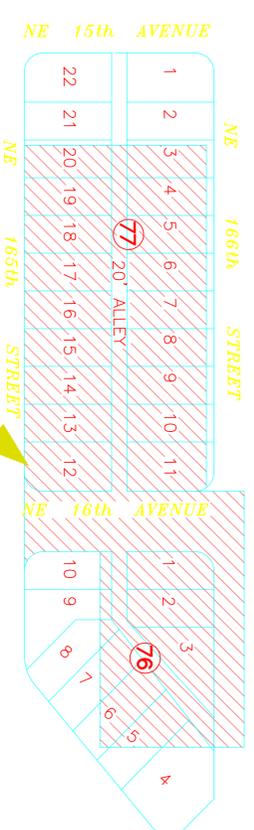
LEGAL DESCRIPTION

A portion of Block 77, Block 76, Egmont Way, SW, (actually NE 16th Avenue) and SW 76th Street, Block 76, NE 16th Avenue, of "Furford by the Sea Amended Plat of Section G," according to the plat thereof as recorded in Plat Book 14, at Page 39 of the Public Records of Miami-Dade County, Florida, in the NE 1/4 of Section 17, Township 52 South, Range 42 East; more particularly described as follows:

Commence at the point of intersection of the East Right of Way Line of 4th Avenue SW (NE 15th Avenue) with the North Right of Way Line of Fernandina Way SW (NE 165th Street), as shown on the aforementioned Plat of "Furford by the Sea Amended Plat of Section G," recorded in Plat Book 14, at Page 39 of the Public Records of Miami-Dade County, Florida, thence run N86°51'43"E along the North Right of Way Line of NE 165th Street, for a distance of 530.0 feet to a point on the East Right of Way Line of NE 16th Avenue; thence run N02°35'46"W along the East Right of Way Line of NE 16th Avenue for a distance of 94.85 feet; thence run N67°18'01"E for a distance of 251.2 feet to a point; thence run N47°11'36"W for a distance of 100.2 feet to a point; thence run N47°11'36"W for a distance of 71.7 feet to a point; thence run N02°43'19"W, concave to the Northeast, having for its elements a radius of 78.0 feet and a central angle of 90°54'12", thence run Northwestward and Northeastly along the arc of said curve for an arc distance of 123.75 feet to a point; thence run S87°50'14"W for a distance of 10.3 feet to a point; thence run N21°20'02"W for a distance of 21.7 feet to a point; thence run S85°00'00"W for a distance of 22.2 feet to a point; thence run S04°48'43"E for a distance of 22.5 feet to a point; thence run S02°35'46"E for a distance of 450.5 feet to a point; thence run S02°35'46"E for a distance of 275.0 feet to the Point of Beginning. Said land lying and being in the City of North Miami Beach Florida and containing 4.76 acres more or less.

JOB No.:	107-15	FB No.:	Gaslavo Bolado	DATE:	4-23-2015	Drawn:	LLC
JOB No.:	61-15	FB No.:	Gaslavo Bolado	DATE:	3-18-2015	Drawn:	LLC
BY: VICENTE A. TOMK Reg. Land Surveyor No. 3103 State of Florida.							
FLORIDA INTERNATIONAL LAND SURVEYORS, INC. (E#2668)							
Sheet 1 of 1 Sheets							

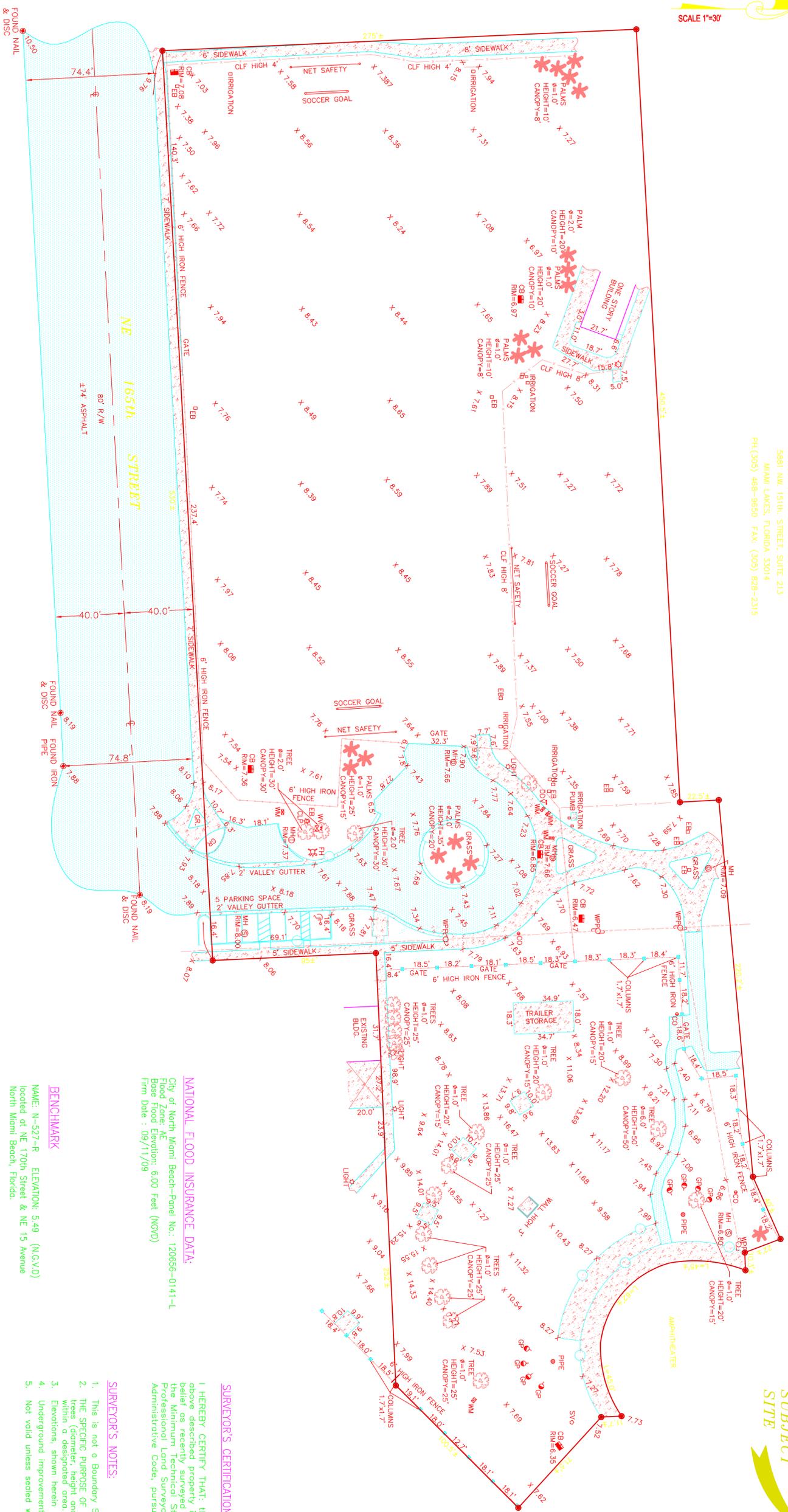
LOCATION SKETCH
N.T.S



SPECIFIC PURPOSE SURVEY
NE 165 STREET AND NE 16 AVENUE
NORTH MIAMI BEACH

FLORIDA INTERNATIONAL
LAND SURVEYORS, INC.

5881 NW 151th STREET, SUITE 213
MIAMI LAKES, FLORIDA 33014
PH: (305) 488-9650 FAX: (305) 828-2315



- LEGEND**
- N.T.S = Not To Scale
 - WPP = Wood Power Pole
 - EB = Electric Box
 - WM = Water Meter
 - WV = Water Valve
 - MH = Manhole
 - FH = Fire Hydrant
 - GR = Grass
 - GP = Guy Pole
 - CO = Clean Out
 - SV = Sanitary Valve
 - CLP = Concrete Light Pole
 - DDV = Double Detector Check Valve
 - X 7.76 = Denotes Elevations
 - [Green Box] = Denotes Asphalt
 - [Blue Box] = Denotes Concrete
 - [Red Box] = Denotes Concrete
 - [Red Box] = Denotes Wall

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT: the attached Specific Purpose Survey of the above described property is correct to the best of my knowledge and belief as recently surveyed under my direction, and meets the intent of the Minimum Technical Standards set forth by the Florida Board of Professional Land Surveyors and Mappers in Chapter 5A-17, Florida Administrative Code, pursuant to Section 472.027 of Florida Statutes.

SURVEYOR'S NOTES:

1. This is not a Boundary Survey.
2. THE SPECIFIC PURPOSE OF THIS SURVEY is to locate improvement above ground, trees (diameter, height and canopy), spot elevations, apron/s, concrete walks within a designated area.
3. Elevations, shown herein, are relative to N.G.V.D., 1929.
4. Underground Improvements and utilities, if any, not located.
5. Not valid unless sealed with an embossed surveyor's seal.

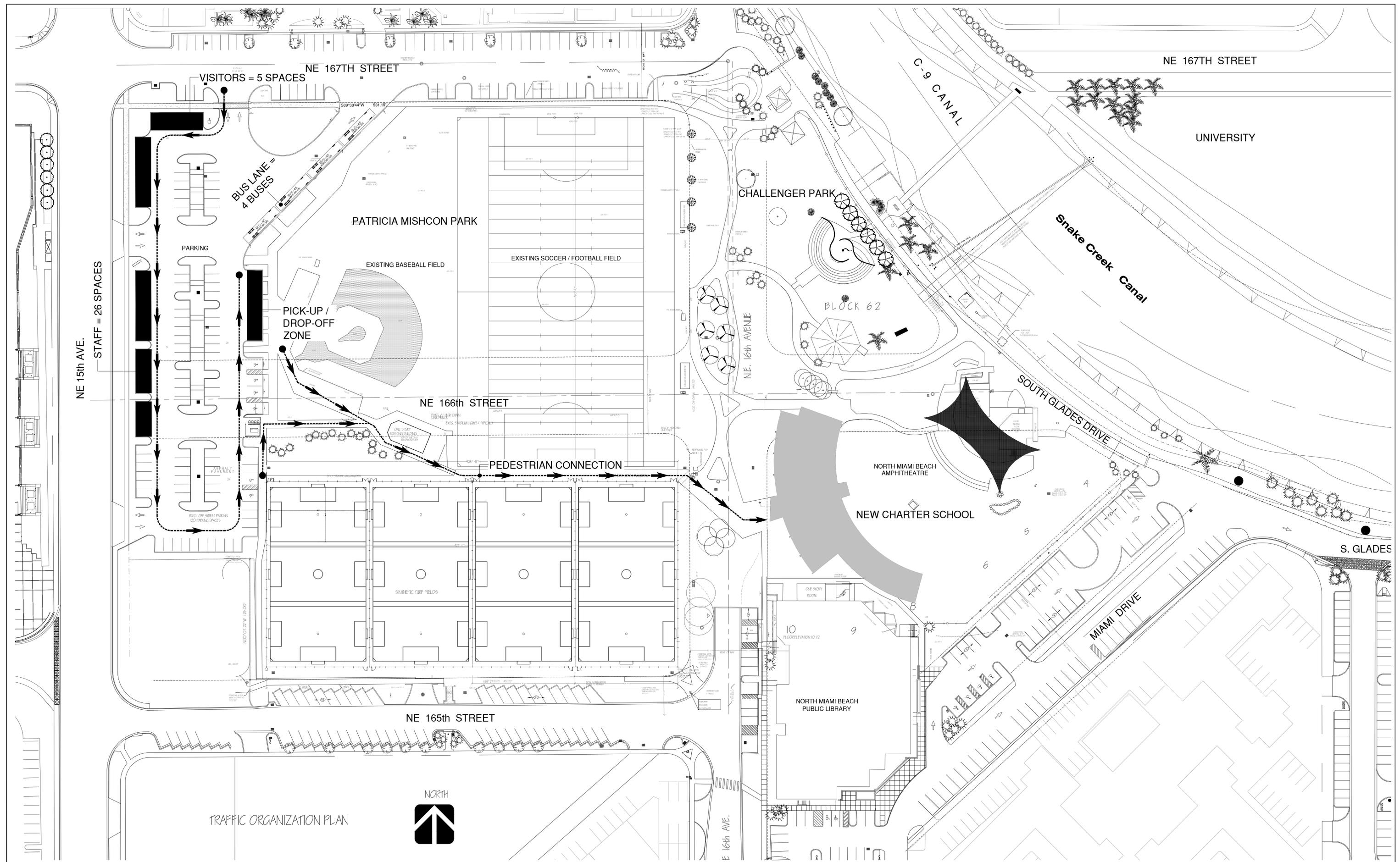
NATIONAL FLOOD INSURANCE DATA:

City of North Miami Beach-Panama No.: 120656-0141-L
Base Flood Elevation: 6.00 Feet (NGVD)
Firm Date : 09/11/09

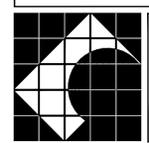
BENCHMARK

NAME: N-527-R ELEVATION: 5.49 (N.G.V.D)
located at NE 170th Street & NE 15 Avenue
North Miami Beach, Florida.

FLORIDA INTERNATIONAL LAND SURVEYORS, INC. (LBS#2668)



TRAFFIC ORGANIZATION PLAN



PROPOSED CHARTER SCHOOL
TRAFFIC ORGANIZATION PLAN

DRAWN: CP
CHECKED: RL
DATE: 09/10/2016
SCALE: NTS
JOB NO.: C224

PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
NE 16th AVENUE & NE 165th STREET - NORTH MIAMI BEACH, FLORIDA

CIVICA - Architecture & Urban Design
ROLANDO LLANES
ARCHITECT
8929 NW 12th ST, SUITE 106
FORT LAUDERDALE, FL 33306
PHONE: (561) 487-9544 • FAX: (561) 487-4162
WWW.CIVICADP.COM

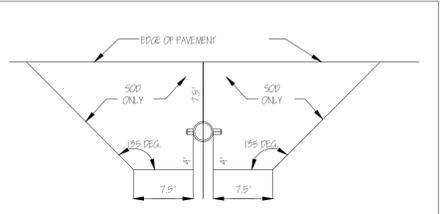
PLANA INTERNATIONAL
1055 SW 12th STREET
BOCA RATON, FLORIDA 33486
PHONE: (561) 487-9544 • FAX: (561) 487-4162
E-MAIL: arci@plana.com

CONSTRUKOMUSA
546 CONSERVATION DRIVE
MIRAGE, FLORIDA 33527
PHONE: (954) 999-6005 • FAX: (866) 610-484
E-MAIL: construkomusa@rednet.com

T.O.P.

FERTILIZATION:
 ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC AFEFC FERTILIZER & CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5254) RATE: 1.5 LBS./ INCH OF DIA. @ DBH PALMS: 12-04-12 (AFEC # 7266) RATE: 1.5 LBS./ INCH OF DIA. @ DBH SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC # 5254) RATE: 1.5 OZ./ FT. OF HEIGHT



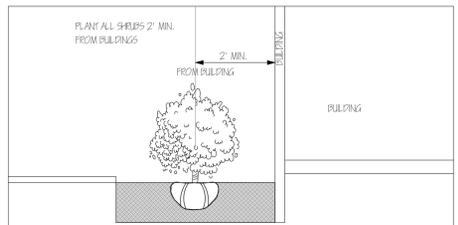
REQUIREMENTS APPLY TO FIRE HYDRANTS, SAME SIZE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY, BY THE AUTHORITY OF THE FLORIDA BUILDING CODE.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOO), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.

EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POIS TO PREVENT FIRE FIGHTING EQUIPMENT.

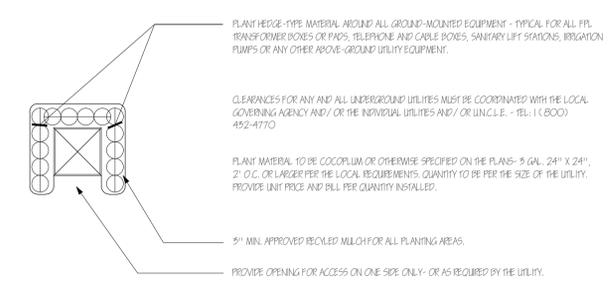
FIRE HYDRANT CLEAR ZONE DETAIL

N.T.S.



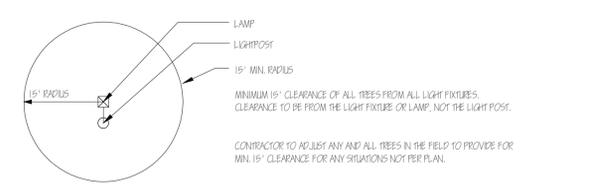
SHRUB PLANTING ADJACENT TO BUILDINGS DETAIL

N.T.S.



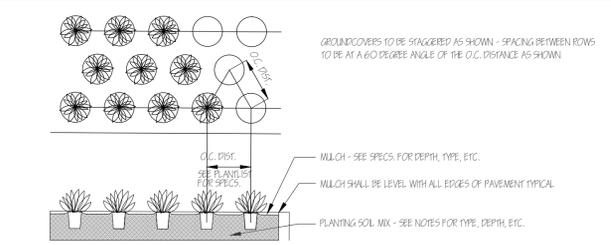
TYPICAL PLANTING SCREEN FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



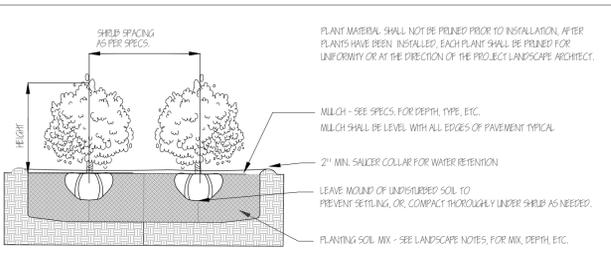
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



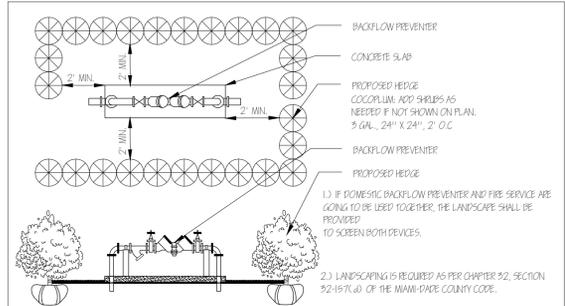
GROUNDCOVER PLANTING DETAIL

N.T.S.



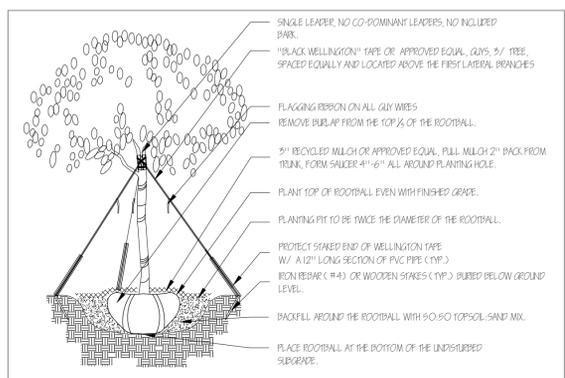
SHRUB PLANTING DETAIL

N.T.S.



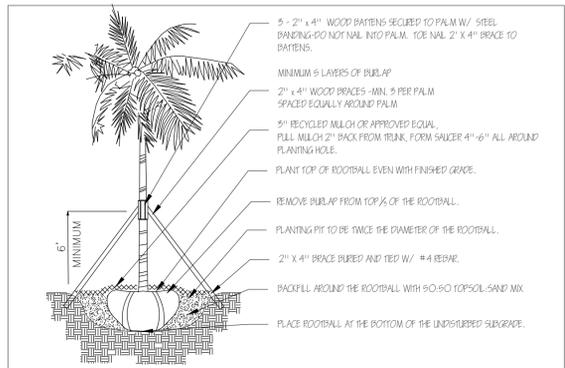
TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.



TREE PLANTING DETAIL

N.T.S.



PALM PLANTING DETAIL

N.T.S.

- LANDSCAPE NOTES**
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER.
 - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
 - TREE, PALM, ACENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL-SAND MIX, FREE OF CLAY, STONES, ROCKS OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR ALL LANDSCAPE AREAS.
- SOODED-LAWN AREAS:**
 2" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
GROUNDCOVER PLANTING BEDS:
 6" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
SHRUB AND HEDGE PLANTING AREAS:
 12" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
TREES, PALMS, SPECIMEN PLANT MATERIAL:
 24" DEPTH PLANTING SOIL SPREAD IN PLACE -OR- TO THE DEPTH OF THE ROOTBALL OR CONTAINER, WHICHEVER IS GREATEST, THROUGHOUT.
- LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:**
 EXCAVATE AND REMOVE ALL LUMBER, ROCKS, DEBRIS, ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL-SAND MIX. BUILDING FOUNDATIONS SHALL BE THE SAME FOR A WIDTH OF 50" FROM THE BUILDING FACE.

THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL UTILITIES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL-SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SOODED.

THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOO AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL-SAND SOIL APPLICATION AND SUBSEQUENT PAYMENT.

OTHER PLANTING SOIL MIXES TO BE USED: (I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL.

ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 5" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, ETC. ARE TO BE CONTAINED IN THE MULCH. THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.

SOO SHALL BE ARGENTINE "BAMBA" OR ST. AUGUSTINE "FLORAGAM" AS SHOWN ON PLAN, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOO ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. CONTRACTOR SHALL BE PAID BY THE TOTAL SOODED AREA X THE UNIT PRICE SUBMITTED (FIELD VERIFIED).

SOO SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FOOT. SOO SHALL CARRY A 5-MONTH WARRANTY.

ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A 1-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERMEN & GROWERS ASSOCIATION (FNGA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

IF THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING, ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

IRRIGATION SHALL PROVIDED FOR A 100% COVERAGE W/ A 100% OVERLAP AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR AS PER FLORIDA LANDSCAPE LAW REQUIREMENTS. NO OVERSPRAY SHALL FALL ONTO PAVED SURFACES. ALL GUIDELINES AS OUTLINED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) SHALL BE STRICTLY ADHERED.

EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RECONFIGURED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.

CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS "BAMBA" ORANGE SAFETY FENCING OR SIMILAR, TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DROP LINE OF THE TREES, PALMS AND PLANT MATERIAL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.

EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-SOO STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY A CERTIFIED ARBORIST TO INSURE QUALITY WORK.

REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. NON-NATIVE TREES CLASSIFIED AS "NUISANCE" TREES MAY BE EXEMPT FROM THE PERMIT.

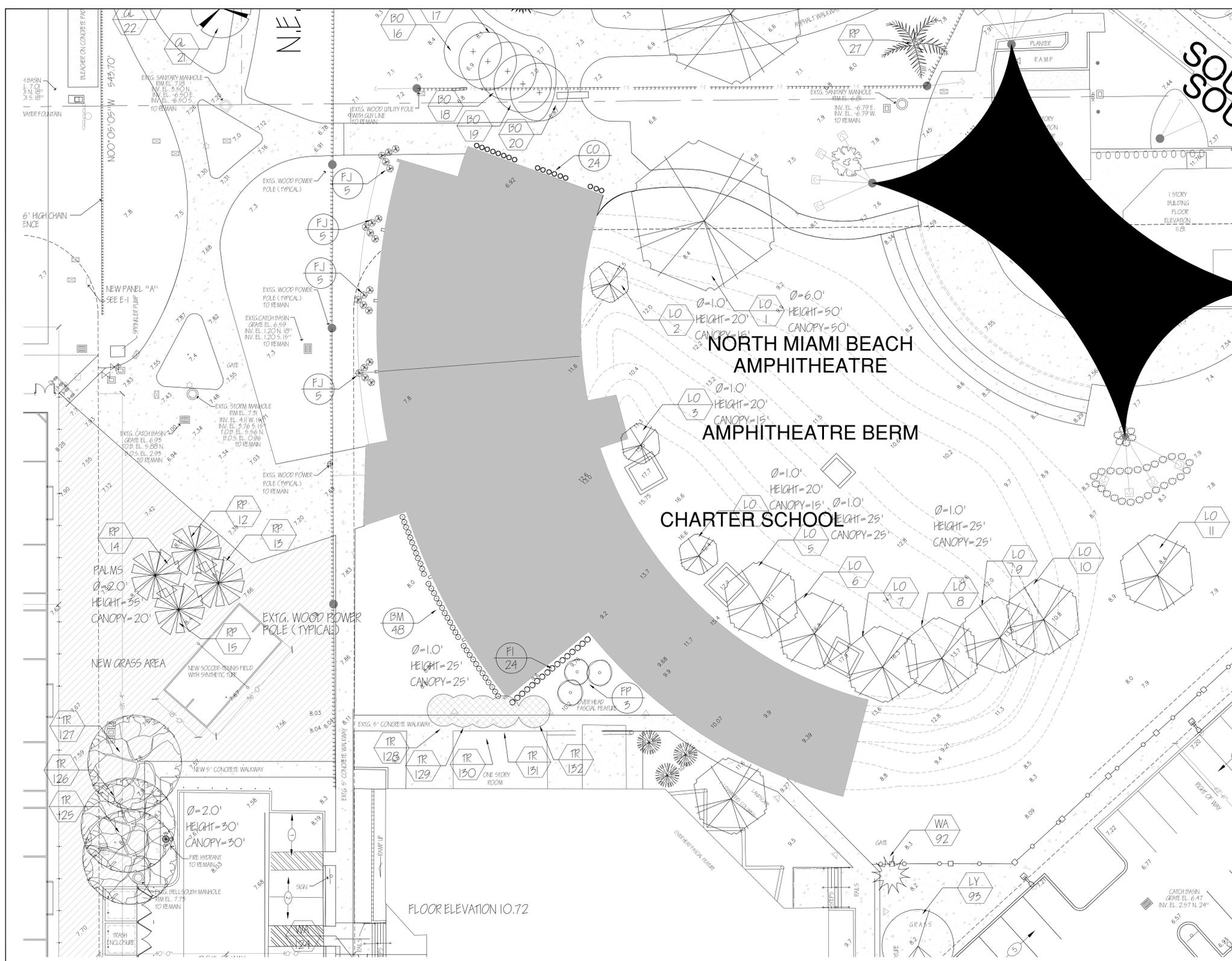
NOTES, DETAILS, SPECIFICATIONS, ETC.

DRAWN: G.B.
 CHECKED: J.P.
 DATE: 05/10/2016
 SCALE: 3/32"=1'-0"
 JOB NO.: C224

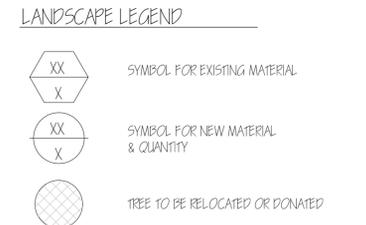
PROJECT TITLE: CITY OF NORTH MIAMI BEACH & SOCCER DEVELOPMENT GROUP
 PROPOSED NEW CHARTER SCHOOL @ PATRICIA MISHCON PARK
 NE 16th AVENUE & NE 165th STREET - NORTH MIAMI BEACH, FLORIDA

PLANA INTERNATIONAL
 1055 SW 126 STREET
 BOCA RATON, FLORIDA 33406
 PHONE: (561) 447-9944 • FAX: (561) 447-462
 E MAIL: arch@plana.com

CONSTRUKOMUSA
 346 CONSERVATION DRIVE
 WESTON, FLORIDA 33327
 PHONE: (954) 999-6285 • FAX: (866) 610-4444
 E MAIL: construkomusa@att.net



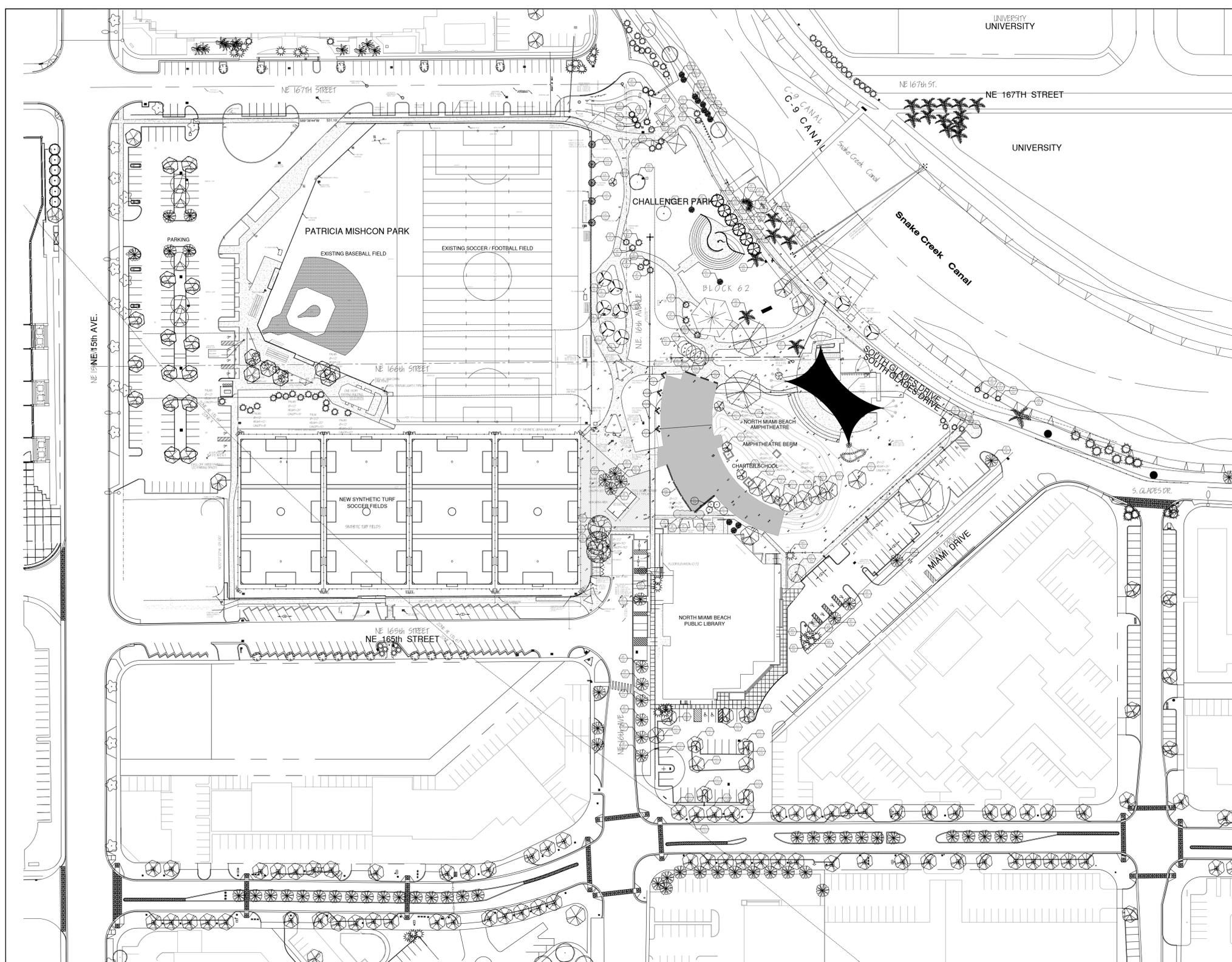
No.	COMMON NAMES	SCIENTIFIC NAMES	COMMENTS
1	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
2	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
3	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
4	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
5	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
6	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
7	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
8	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
9	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
10	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
11	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
12	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
13	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
14	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
15	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
16	BLACK GLUE	BURKHARDIA BURKEANA	EXISTING TO REMAIN
17	BLACK GLUE	BURKHARDIA BURKEANA	EXISTING TO REMAIN
18	BLACK GLUE	BURKHARDIA BURKEANA	EXISTING TO REMAIN
19	BLACK GLUE	BURKHARDIA BURKEANA	EXISTING TO REMAIN
20	BLACK GLUE	BURKHARDIA BURKEANA	EXISTING TO REMAIN
21	GUINNY LIMBO	BURPERSIA SIMARUBA	EXISTING TO REMAIN
22	GUINNY LIMBO	BURPERSIA SIMARUBA	EXISTING TO REMAIN
23	GUINNY LIMBO	BURPERSIA SIMARUBA	EXISTING TO REMAIN
24	GUINNY LIMBO	BURPERSIA SIMARUBA	EXISTING TO REMAIN
25	GUINNY LIMBO	BURPERSIA SIMARUBA	EXISTING TO REMAIN
26	GUINNY LIMBO	BURPERSIA SIMARUBA	EXISTING TO REMAIN
27	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
28	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
29	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
30	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
31	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
32	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
33	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
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35	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
36	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
37	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
38	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
39	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
40	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
41	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
42	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
43	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
44	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
45	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
46	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
47	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
48	HONG KONG ORCHID	BALHINIA BLAERIANA	EXISTING TO REMAIN
49	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
50	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
51	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
52	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
53	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
54	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
55	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
56	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
57	MANGROVE	Sonneratia speciosa	EXISTING TO REMAIN
58	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	EXISTING TO REMAIN
59	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	EXISTING TO REMAIN
60	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	EXISTING TO REMAIN
61	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	EXISTING TO REMAIN
62	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	EXISTING TO REMAIN
63	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	EXISTING TO REMAIN
64	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
65	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
66	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
67	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
68	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
69	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
70	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
71	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
72	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
73	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
74	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
75	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
76	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
77	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
78	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
79	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
80	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
81	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
82	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
83	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
84	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
85	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
86	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
87	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
88	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
89	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
90	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
91	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
92	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
93	LYAL CACTUS	LYAL CACTUS	EXISTING TO REMAIN
94	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
95	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
96	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
97	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
98	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
99	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
100	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
101	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
102	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
103	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
104	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
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113	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
114	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
115	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
116	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
117	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
118	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
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121	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
122	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
123	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
124	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
125	TREE		EXISTING TO BE RELOCATED OR DONATED
126	TREE		EXISTING TO BE RELOCATED OR DONATED
127	TREE		EXISTING TO BE RELOCATED OR DONATED
128	TREE		EXISTING TO BE RELOCATED OR DONATED
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149	TREE		EXISTING TO BE RELOCATED OR DONATED
150	TREE		EXISTING TO BE RELOCATED OR DONATED
151	TREE		EXISTING TO BE RELOCATED OR DONATED
152	TREE		EXISTING TO BE RELOCATED OR DONATED



PLANT LIST AND PLANT LEGEND

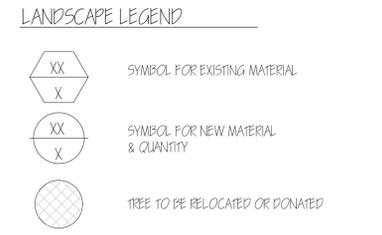
	FOYAL PALM - WOODSTICK BURPICATION 12" HT., 6" SP., 12" CAL. PB&B Quantity: 5
	CO - COCLOBAMA - CHRISOPALANUS ICACO 24" HT., 24" SP., 3 CAL. Quantity: 24
	BM - BEACH MORNING GLORY - IPOMOEA PESCAPAE 12" HT., 12" SP., 1 CAL. Quantity: 45
	FI - FIGUS MICROCARPA "Green Island" 24" HT., 24" SP., 3 CAL. Quantity: 24
	FJ - FLURRY JASMINE - JASMINUM PLURIFLORUM 14" HT., 14" SP., 1 CAL. Quantity: 20
	Stenotaphrum secundatum "Floratum" St. Augustine Grass Quantity: 8,000 sq.ft.

ENLARGED LANDSCAPE PLAN
SCALE 1/16" = 1'-0"



TREES CHART

No.	COMMON NAMES	SCIENTIFIC NAMES	COMMENTS
1	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
2	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
3	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
4	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
5	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
6	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
7	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
8	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
9	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
10	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
11	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
12	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
13	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
14	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
15	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
16	BLACK GLUE	BURKHIA BURPEAS	EXISTING TO REMAIN
17	BLACK GLUE	BURKHIA BURPEAS	EXISTING TO REMAIN
18	BLACK GLUE	BURKHIA BURPEAS	EXISTING TO REMAIN
19	BLACK GLUE	BURKHIA BURPEAS	EXISTING TO REMAIN
20	BLACK GLUE	BURKHIA BURPEAS	EXISTING TO REMAIN
21	GUMBO-LIMBO	BURPERA SIMARIBA	EXISTING TO REMAIN
22	GUMBO-LIMBO	BURPERA SIMARIBA	EXISTING TO REMAIN
23	GUMBO-LIMBO	BURPERA SIMARIBA	EXISTING TO REMAIN
24	GUMBO-LIMBO	BURPERA SIMARIBA	EXISTING TO REMAIN
25	GUMBO-LIMBO	BURPERA SIMARIBA	EXISTING TO REMAIN
26	GUMBO-LIMBO	BURPERA SIMARIBA	EXISTING TO REMAIN
27	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
28	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
29	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
30	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
31	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
32	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
33	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
34	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
35	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
36	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
37	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
38	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
39	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
40	HONG KONG ORCHID	BALHINA BLAEBANA	EXISTING TO REMAIN
41	HONG KONG ORCHID	BALHINA BLAEBANA	EXISTING TO REMAIN
42	HONG KONG ORCHID	BALHINA BLAEBANA	EXISTING TO REMAIN
43	HONG KONG ORCHID	BALHINA BLAEBANA	EXISTING TO REMAIN
44	HONG KONG ORCHID	BALHINA BLAEBANA	EXISTING TO REMAIN
45	HONG KONG ORCHID	BALHINA BLAEBANA	EXISTING TO REMAIN
46	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
47	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
48	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
49	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
50	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
51	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
52	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
53	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
54	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
55	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
56	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
57	MANGROVE	SWETSHA MANGROVE	EXISTING TO REMAIN
58	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
59	ALEXANDER PALM	PTICHOPTERWA ELEGANS	EXISTING TO REMAIN
60	ALEXANDER PALM	PTICHOPTERWA ELEGANS	EXISTING TO REMAIN
61	ALEXANDER PALM	PTICHOPTERWA ELEGANS	EXISTING TO REMAIN
62	ALEXANDER PALM	PTICHOPTERWA ELEGANS	EXISTING TO REMAIN
63	ALEXANDER PALM	PTICHOPTERWA ELEGANS	EXISTING TO REMAIN
64	ALEXANDER PALM	PTICHOPTERWA ELEGANS	EXISTING TO REMAIN
65	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
66	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
67	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
68	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
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70	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
71	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
72	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
73	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
74	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
75	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
76	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
77	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
78	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
79	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
80	BALD CYPRESS	TAXODIUM DISTICHUM	EXISTING TO REMAIN
81	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
82	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
83	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
84	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
85	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
86	COCONUT PALM	MALAYAN DWARF	EXISTING TO REMAIN
87	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
88	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
89	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
90	SABAL PALM	SABAL PALMETTO	EXISTING TO REMAIN
91	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
92	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
93	LYAL OAK	LYAL OAK WIPSONII	EXISTING TO REMAIN
94	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
95	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
96	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
97	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
98	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
99	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
100	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
101	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
102	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
103	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
104	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
105	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
106	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
107	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
108	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
109	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
110	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
111	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
112	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
113	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
114	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
115	LIVE OAK	QUERCUS VIRGINIANA	EXISTING TO REMAIN
116	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
117	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
118	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
119	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
120	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
121	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
122	ROYAL PALM	ROSTOCHEA REGIA	EXISTING TO REMAIN
123	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
124	WASHINGTONIA PALM	WASHINGTONIA ROBERTIA	EXISTING TO REMAIN
125	TREE		EXISTING TO BE RELOCATED OR DONATED
126	TREE		EXISTING TO BE RELOCATED OR DONATED
127	TREE		EXISTING TO BE RELOCATED OR DONATED
128	TREE		EXISTING TO BE RELOCATED OR DONATED
129	TREE		EXISTING TO BE RELOCATED OR DONATED
130	TREE		EXISTING TO BE RELOCATED OR DONATED
131	TREE		EXISTING TO BE RELOCATED OR DONATED
132	TREE		EXISTING TO BE RELOCATED OR DONATED



PLANT LIST AND PLANT LEGEND

	FOXTAIL PALM - WOODBERTIA BURPICATA 12" HT., 6" SP., 12" CAL. PB&B Quantity: 5
	CO - COCOPLUM - CHRISOPALANUS ICACO 24" HT., 24" SP., 3 GAL. Quantity: 24
	BM - BEACH MORNING GLORY - IPOMOEA PESCAPAE 12" HT., 12" SP., 1 GAL. Quantity: 45
	F1 - FIGUS MICROCARPA "Green Island" 24" HT., 24" SP., 3 GAL. Quantity: 24
	FJ - FLUREY JASMINE - JASMINUM PULPESCENS 14" HT., 14" SP., 1 GAL. Quantity: 20
	Stenotaphrum secundatum "Elevatum" St. Augustine Grass Quantity: 8,000 sq.ft.

LANDSCAPE PLAN
SCALE 1/64" = 1'-0"

**Regulatory and Economic Resources
RER NOTES ON WATER-SEWER INSTALLATION**

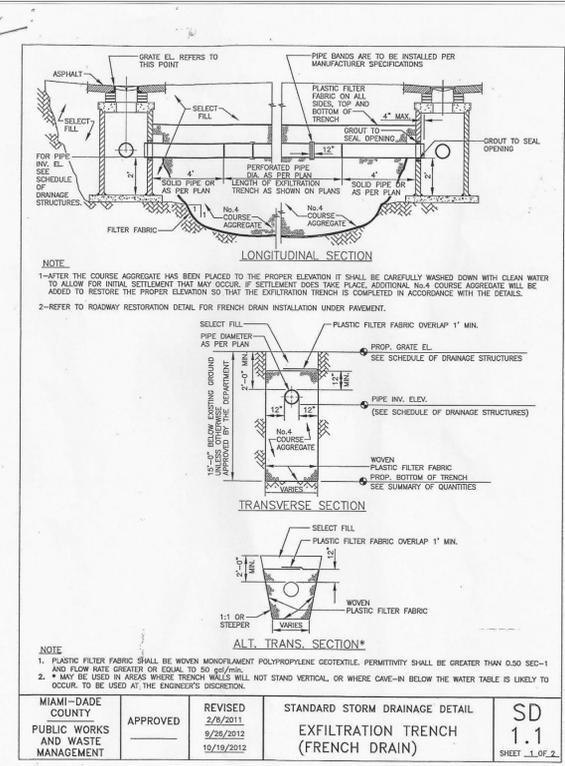
- A preferred horizontal distance (outside to outside) of 10 feet or minimum of 6 feet shall be maintained between gravity or pressure sewer pipes and water mains. The horizontal separation can be reduced to a minimum of 3 feet only for gravity sewer pipes where the bottom of the water main is at least 6 inches above the top of the gravity sanitary sewer. When the above specified horizontal distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if:
 - The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
 - The top of the sewer is at least 18 inches below the bottom of the water pipe.
- A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes preferably crossing under water mains. The minimum vertical separation can be reduced to 6 inches for gravity sewers where the sewer pipe is crossing below the water main. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. When the above specified vertical distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if:
 - The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
- The contractor shall verify nature, depth, and character of existing underground utilities prior to start of construction.
- All other public or private utility facilities shall be constructed at least 5 feet from any water and sewer main as measured from the outside bell of the water of the utility pipe.
- When the 5 feet separation between proposed and existing line is not possible, the contractor shall hand dig or expose the water and sewer pipes before proceeding with power equipment excavation.
- In no case shall a contractor install utility pipes, conduits, cables, etc. in the same trench parallel and above an existing water or sewer pipe except where they cross. Any deviation from notes 3, 4 and 5 shall be approved in writing by the responsible water and sewer utility.
- In highly congested areas, where either water or sewer facilities are existing or the separation requirements cannot be met, special consideration may be given subject to submittal of documentation showing that the proposed alternative will result in an equivalent level of reliability and public health protection.
- Gravity sanitary sewers constructed within a public wellfield protection area shall be PVC-900 or Ductile Iron Pipe. The maximum allowable exfiltration, infiltration, or leakage for gravity sanitary sewers constructed within a public wellfield protection area shall be fifty (50) gallons per inch pipe diameter per mile per day for residential land use and twenty (20) gallons per inch pipe diameter per mile per day for non-residential land use with no allowances for manholes or laterals. The maximum allowable exfiltration, infiltration, or leakage in gravity sanitary sewers constructed outside a public wellfield protection area shall be one hundred (100) gallons per inch pipe diameter per mile per day. The duration of all tests shall be a minimum of two (2) hours. Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- Force main sewers constructed in a public wellfield protection area shall be either ductile iron or reinforced concrete pressure sewer pipes.
 - For ductile iron pipe exfiltration rate shall not be greater than the allowable leakage rate specified in American Water Works Association Standard (AWWA) C900-82 at a test pressure of 100 psi.
 - For reinforced concrete pressure sanitary sewer exfiltration rate shall not be greater than half (1/2) the allowable leakage rate specified in AWWA C600-82 at a test pressure of 100 psi.
- A non-resettable elapsed time meter shall be installed at each pump to record the total number of operating hours of the station.

- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE DEPARTMENT. **SUBMIT SHOP DRAWINGS FOR ALL MATERIALS.**
- COVER OVER WATER OR SEWER FORCE MAINS SHALL BE 4'-0" MIN.
- ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 OR 53 VALVE BOXES FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 4" RISER PIPES AND NO. 2 VALVE BOXES.
- ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
- ALL GRAVITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID.
- FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY THE MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- CONTRACTOR MUST CALL M-DWASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MEETING 2 FULL BUSINESS DAYS PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.
- CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE DEPARTMENT.

ITEM	CROSS REF.	SPEC. REF.
MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT	ISSUE DATE 03/01/2010	APPROVED BY V.F.C.
STANDARD DETAIL STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION		GS 0.5 SHEET 1 of 2

- AT THE COMPLETION OF ANY WATER AND SEWER JOB, EITHER DONATION OR CONTRACT, THE CONTRACTOR SHALL SUBMIT:
 - AS-BUILT PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. (QTY. OF PRINTS, AS REQUIRED BY THE DEPARTMENT.)
- "AS-BUILT" FORMAT:
 - 24"x36" PRINTS
 - LOCATION MAP SCALE SHOULD BE 1"=300' AND SECTION-TOWNSHIP-RANGE SHOULD BE SHOWN.
 - THE WORD "AS-BUILT" IN LARGE LETTERS.
 - TITLE BLOCK WITH DEPARTMENT DS, DW OR ER NUMBER AND PERTINENT INFORMATION.
 - PREFERRED SCALE TO BE 1"= 40' HORIZONTALLY AND 1"= 4' VERTICALLY.
 - STREET NOMENCLATURE.
 - SEPARATE AS-BUILTS FOR WATER AND SEWER.
 - SEPARATE WATER AND SEWER PROFILE.
 - STATIONING STARTING WITH 0+00 AT PERMANENT REFERENCE POINT (I.E., C.S., ETC.) OR AS SHOWN ON DESIGN PERMIT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN.
 - EASEMENTS, IF ANY, TIED TO PERMANENT REFERENCE POINT.
 - IDENTIFY ALL CONTROL LINES (I.E. B.L.C. LINE, PROPERTY LINE, R/W, ETC.)
 - ALL "PROPOSED" INFORMATION TO BE REMOVED FROM PRINTS, LEAVING ONLY "AS-BUILT" INFORMATION REFLECTED IN DRAWINGS.
- WATER "AS-BUILTS" MUST INCLUDE:
 - PLANS SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS (IF ANY), STATION OF SERVICES, HYDRANTS AND FITTINGS AT THE MANLINE (IF PERPENDICULAR TO IT), AND AT MAIN AND END OF SERVICES IF ANY, OTHER ANGLE, AND DEFLECTION OF PIPE, IF ANY.
 - PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 100' STATION AND AT ANY CHANGE IN GRADE (WITH CORRESPONDING STATION), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN.
- SEWER "AS-BUILTS" MUST INCLUDE:
 - PLAN SHOWING MANHOLE NUMBER, PIPE SIZE AND PIPE MATERIAL OF PIPE, DEFLECTION, IF ANY (FORCE MAIN ONLY), AND LOCATION OF LATERALS WITH REFERENCE TO MANHOLE.
 - PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN), RIM AND INVERT ELEVATIONS (IF MORE THAN ONE INVERT, LABEL NORTH, SOUTH, ETC.), AND STATION STARTING AT EACH 0+00 AT DOWNSTREAM MANHOLE.
- FORCE MAIN "AS-BUILT" SAME AS WATER MAIN ABOVE.
- EACH AS-BUILT SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT READJUSTMENT) OF ALL THE MANHOLES AND VALVES AND OF AT LEAST TWO HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

ITEM	CROSS REF.	SPEC. REF.
MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT	ISSUE DATE 03/11/2009	APPROVED BY V.F.C.
STANDARD DETAIL "AS-BUILT" REQUIREMENTS		GS 0.5 SHEET 2 of 2



**DEPARTMENT OF HEALTH REQUIREMENTS
(NOT A PART OF M-DWASD NOTES NOR APPROVAL)**

- WATER MAIN HORIZONTAL SEPARATIONS**
- SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE.
 - BETWEEN WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES, SEPARATION SHALL BE 3 FEET MINIMUM.
 - BETWEEN WATER MAINS AND VACUUM TYPE SEWER, SEPARATION SHALL BE PREFERABLY 10 FEET AND AT LEAST 3 FEET MINIMUM.
 - GRAVITY OR PRESSURE SANITARY SEWERS, WASTE WATER FORCE MAINS OR RECLAIMED WATER LINES, SEPARATION SHALL BE PREFERABLY 10 FEET AND AT LEAST 6 FEET. IT MAY BE REDUCED TO 3 FEET WHERE BOTTOM OF WATER MAIN IS AT LEAST 6 INCHES ABOVE TOP OF SEWER LINE.
 - SEPARATION SHALL BE 10 FEET OF ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEMS.
- WATER MAIN VERTICAL SEPARATIONS**
- SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, SHALL BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES IF ABOVE OR AT LEAST 12 INCHES IF BELLOW.*
 - PRESSURE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.*
- * NOTE: CENTER 1 FULL LENGTH OF WATER PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER LINES.

LEGAL DESCRIPTION

A PORTION OF BLOCK 77, BLOCK 76, EGMONT WAY SW (ACTUALLY NE 166TH STREET) AND 3RD AVENUE SW (ACTUALLY NE 16TH AVENUE) OF "FULFORD BY THE SEA AMENDED PLAT OF SECTION G" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, AT PAGE 39 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, IN THE NE 1/4 OF SECTION 17, TOWNSHIP 52 SOUTH, RANGE 42 EAST MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE POINT OF INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 4TH AVENUE SW (NE 15TH AVENUE) WITH THE NORTH RIGHT OF WAY LINE OF FERNANDINA WAY SW (NE 165TH STREET), AS SHOWN ON THE AFOREMENTIONED PLAT OF "FULFORD BY THE SEA AMENDED PLAT OF SECTION G", RECORDED IN PLAT BOOK 14, AT PAGE 39 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, THENCE RUN N86°51'43"E ALONG THE NORTH RIGHT OF WAY LINE OF NE 165TH STREET FOR A DISTANCE OF 530.0 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF NE 16TH AVENUE; THENCE RUN N02°35'46"W ALONG THE EAST RIGHT OF WAY LINE OF NE 16TH AVENUE FOR A DISTANCE OF 94.85 FEET; THENCE RUN N87°18'01"E FOR A DISTANCE OF 251.2 FEET TO A POINT; THENCE RUN N44°33'13"E FOR A DISTANCE OF 100.2 FEET TO A POINT; THENCE RUN N47°11'36"W FOR A DISTANCE OF 71.2 FEET TO A POINT; THENCE RUN N02°43'19"W FOR A DISTANCE OF 11.7 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE TO THE NORTHEAST, HAVING FOR ITS ELEMENTS A RADIUS OF 78.0 FEET AND A CENTRAL ANGLE OF 90°54'12", THENCE RUN NORTHWESTERLY AND NORTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 123.75 FEET TO A POINT; RUN S87°50'14"W FOR A DISTANCE OF 10.3 FEET TO A POINT; THENCE RUN N21°29'02"W FOR A DISTANCE OF 21.7 FEET TO A POINT; THENCE RUN S65°40'00"W FOR A DISTANCE OF 40.2 FEET TO A POINT; THENCE RUN S85°00'00"W FOR A DISTANCE OF 220.2 FEET TO A POINT; THENCE RUN S04°49'43"E FOR A DISTANCE OF 22.5 FEET TO A POINT; THENCE RUN S86°51'43"W FOR A DISTANCE OF 450.5 FEET TO A POINT; THENCE RUN S02°35'46"E FOR A DISTANCE OF 275.0 FEET TO THE POINT OF BEGINNING, SAID LAND LYING AND BEING IN THE CITY OF NORTH MIAMI BEACH FLORIDA AND CONTAINING 4.76 ACRES MORE OR LESS.

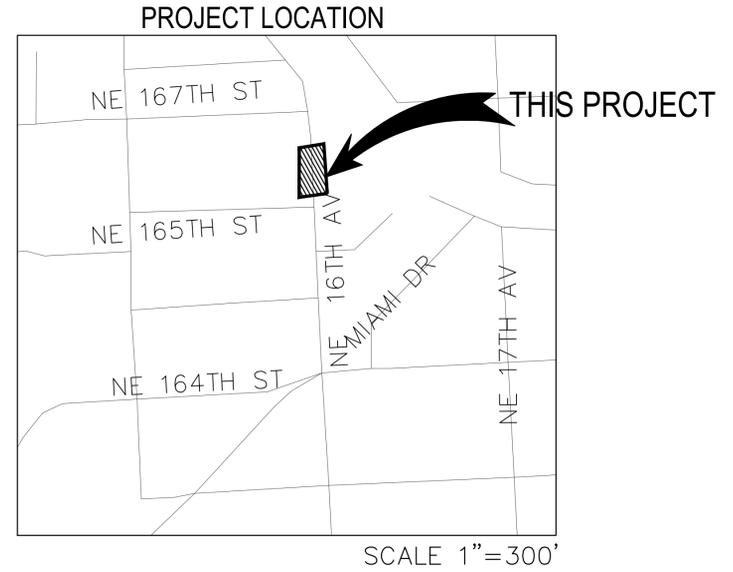
NOTES:

- THE FOLLOWING UTILITY COMPANIES SHOULD BE NOTIFIED 48 HOURS IN ADVANCE OF EXCAVATION IN AREA.
 - FLORIDA POWER AND LIGHT CO.
 - BELL SOUTH/AT&T
 - MIAMI DADE WATER AND SEWER DEPT.
 - COMCAST
 - MIAMI-DADE COUNTY PUBLIC WORKS DEPT.
 - CITY OF NORTH MIAMI BEACH PUBLIC WORKS DEPT.
 - SUNSHINE STATE ONE CALL OF FLORIDA, INC.
- ALL MATERIAL SHOULD BE D.I.P. EXCEPT SERVICES.
- IF EVIDENCE OF POTENTIAL CONTAMINATION IS DETECTED DURING EXCAVATION, STOP EXCAVATION WORK AND NOTIFY WASD ENVIRONMENTAL, HEALTH AND SAFETY SECTION AT (786)552-8579 AND THE CONSTRUCTION CONTRACT MANAGEMENT DIVISION AT (786)552-8252. EVIDENCE OF POTENTIAL CONTAMINATION MAY INCLUDE ANY OF THE FOLLOWING: 1. ODOR 2. SOLID WASTE DEBRIS 3. SHEEN ON THE GROUNDWATER 4. STAINED OR SATURATED SOIL (SOIL THAT CONTAINS PRODUCT THAT DRAINS WHEN IT IS HANDLED OR CREATES STREAKS ON EXCAVATION TOOLS) OR 5. FREE FLOATING PRODUCT ON THE GROUNDWATER (OIL, DIESEL, GASOLINE, ETC.). MATERIAL THAT HAS ODOR, IS STAINED OR IS SATURATED MUST BE SEGREGATED ON AN IMPERMEABLE SURFACE FOR APPROPRIATE FUTURE DISPOSAL.
- ALL WATER MAIN PIPE AND FITTINGS INSTALLED UNDER THIS PROJECT MUST BE COLOR CODED WITH BLUE PAINT AS STATED IN THE FLORIDA ADMINISTRATIVE CODE, SUBPARAGRAPH 62-555.320(21)(B)3 AND AS REQUIRED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. IF PAINT IS APPLIED DURING INSTALLATION OF THE PIPE, THE PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ON THE TOP OF THE PIPE.

ALL EXIST. MAINS BEING IMPACTED BY THIS PROJECT AND ALL PROP. WATER AND FORCE MAINS AND FITTINGS TO BE RESTRAINED PER G.S.-2.0

NOT PART OF MDWASD NOTES NOR APPROVAL
CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF EXIST. PIPES AND POINT OF CONNECTIONS PRIOR TO COMMENCEMENT OF WORK.

AGREEMENT ID XXXXX



- DRAINAGE GENERAL NOTES**
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 - PLASTIC FILTER FABRIC SHALL BE WOVEN MONOFILAMENT POLYPROPYLENE GEOTEXTILE. PERMITTIVITY SHALL BE GREATER THAN 0.50 SEC-1 AND FLOW RATE GREATER OR EQUAL TO 50 GAL./MIN.
 - THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT, AND FOREIGN MATERIALS.
 - ANY DAMAGE CAUSED WITHIN THE SITE OR TO ADJOINING PROPERTIES DURING CONSTRUCTION MUST BE CORRECTED BY THE GENERAL CONTRACTOR.
 - THE GENERAL CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO SUNSHINE STATE ONE CALL OF FLORIDA, INC. PHONE NUMBER 1-800-432-4770, TWO WORKING DAYS BEFORE DIGGING.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE, SIZE, AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.



ACE ENGINEERING SOLUTIONS, INC.
IPLANASR@AOL.COM
DESIGN AND CONSULTING SERVICES

REVISIONS	BY

PROPOSED SOCCER FIELDS CLUBHOUSE
GENERAL NOTES AND DETAILS

IVONNE PLANAS, P.E.
FL. LICENSE 67358

DATE 02-20-2016

SCALE AS SHOWN

DRAWN I.P.

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF ACE ENGINEERING SOLUTIONS, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OWNER ON OTHER PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO ACE ENGINEERING SOLUTIONS, INC.

SHEET No. 2 of 2

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